

The HARINGEY ADVERTISER



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YOUR LOCAL EDITION

www.haringey-today.co.uk

50 more officers on the beat in Haringey



AN ADDITIONAL 30 police officers are now on patrol in Haringey – with the promise of more to come.

A parade of the new officers, supported by colleagues from the local Safer Neighbourhoods Teams, assembled and were briefed at Tottenham police station last Tuesday before making their way on to the High Road to visit local businesses and residents.

As well as the 30 already in place, a further 20 will come into the borough in the coming months.

They spoke about the police promises to the community and encouraged people to sign up to the Neighbourhood Link messaging system to

receive information updates by registering at www.neighbourhoodlink.met.police.uk

The promises include daily uniformed patrols in the areas identified as having the highest need, a police officer assigned to every secondary school in the borough, convicted prolific offenders being visited by police weekly, weapon sweeps in public spaces and regular street briefings.

"We are committed to listening to the community to tackle crime," said borough commander Sandra Looby. "If we are to continue to police with the consent and support of the community, it is important that we are transparent and lay out our commitment to the community

in the form of these promises.

"The additional officers will help us to cut crime and the number of victims of crime; they will increase our presence on the streets so local people feel safer, and they will be supporting our proactive actions in pursuing, prosecuting and disrupting gang members.

"But, equally importantly they will be working with Safer Neighbourhoods officers to help us improve our links with local people and find long-term solutions to crime problems. This may include enhancing activities to help divert young people away from gangs, or working with other authorities to close down venues which generate crime."

Community panel to publish findings

TOTTENHAM Community Panel is to publish its recommendations to support the transformation of the area following last year's riots.

The recommendations follow five main themes including attracting investment and creating local jobs, improving the image of the area, more opportunities for young people, improving relationships between the police and the community, and reconnecting people to civic society.

The findings will be announced at Tottenham Hotspur FC on Friday afternoon.

Haringey Council Leader and chair of the Panel, Claire Kober said: "Members of the Tottenham Community Panel have worked tirelessly to explore the causes of the riots and to make practical suggestions for how we can move forward together to make Tottenham better and to avoid a repeat of the devastating scenes we saw last summer.

"One of the great strengths of the community panel is that it brings together a mix of people who each have a long-standing knowledge and understanding of Tottenham – and a deep commitment to helping deliver a better future for the area."

Website warnings

HOME-seekers are being warned of a scam that cheats them out of their deposit and first month's rent on an already let flat.

Police have been alerted to several incidents in which prospective renters had paid from £300 to £1,600 cash in advance to rent properties in Tottenham and Wood Green.

In each case the home seekers saw the property advertised on a website and contacted the advertiser by mobile phone.

Anyone with information is urged to call police on 101 or call Crimestoppers anonymously on 0800 555 111.

COLLEGE BUDGET CUT MAY CAUSE JOBS TO GO

ONE of the UK's largest colleges is slashing its budget by 17 per cent, which a leading teaching union has warned will lead to huge job losses.

The College of Haringey, Enfield and North East London has centres at sites in Tottenham and

Enfield and currently caters for 20,000 students. But the future of the college has been thrown into doubt after managers announced funding cuts totalling £3.7million.

The University and College Union has condemned the college's management for slashing the budget for the fifth year in a row.

UCU branch secretary Sonia Kobal is worried that the cuts will inevitably lead to widespread redundancies.

"If last year many members of our teaching staff left through voluntary redundancy, what will this year bring? Compulsory redundancies?" she said.

"Our members deserve better. What we demand is a better-funded college that is able to respond positively to the needs of the local pop-

ulation. We believe that the government is wrong to cut our funding at a time when people need to re-train or need to go back into education while the jobs market is in a state of disarray. It does not make sense and this is a clear overall attack on the public sector."

The college has tried to calm union fears over job losses. A college spokeswoman said: "We are currently planning how to implement the funding reductions for next year.

"The allocation for adult learning has been reduced by £2.2m and for young people we are anticipating a reduction of £1.5m. It is still too early to see what the impact will be on jobs. Any posts that now become vacant will be reviewed and where appropriate be filled by temporary staff," she added.

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'We will continue fight for Cat Hill'

By Daniel O'Brien

CAMPAIGNERS against a proposed 250-home development on a former university campus have pledged to continue their fight if the bid is approved next month.

Opponents to the development by housing company L&Q on the ex-Middlesex University campus in Cat Hill are hoping Enfield Council's planning committee will reject the application when it is heard at a special committee meeting at Ashmole Academy, in Cecil Road, Southgate, on March 7.

Campaign leader Kim Coleman said the bid was not in keeping with the look of the borough, would put considerable pressure on parking and schools and damage local wildlife, including bats and Great Crested newts.

Since L&Q submitted its original bid in June, campaigners have held a series of protests including a 67-hour vigil at the site in November.

Earlier that month a special meeting between opponents, planning officers and developers was postponed after more than 100 residents were turned away from the 130-capacity venue due to overcrowding. In that time L&Q said it had responded to comments from residents by reducing the number of units from 270 to 250, and removing houses from areas near trees and ponds.

But Mrs Coleman said the development was still too large and that the remaining blocks, which would be up to six storeys high, would be an eyesore.

"I know that something is going to be built there but let's build something that's in keeping with the area," she said and added that she was determined to stop the development, regardless of the planning committee's decision.

"I will fight this for the next ten years if I have to," she said. "There is no way I'm giving up."



Vocal opposition: Kim Coleman puts forward her views on the Cat Hill development during a meeting held last year to discuss the proposals

A residents' meeting to raise support for the campaign will be held at Christ The King Catholic Church, in Bramley Road, Southgate, tomorrow at 7.30pm.
daniel.obrien@nlhnews.co.uk

NEWS

Group supports school proposal

By Mary McConnell

THE group behind the campaign to prevent a housing estate being built in Cat Hill has leant its support to the proposals that would see a Greek Orthodox school brought to Trent Park.

Kim Coleman, chairwoman of the Campaign For Cat Hill, said the Trent Park and Cat Hill sites, which are both former Middlesex University campuses, should be retained for educational use.

"Historically, both have been used for education purposes," she said. "Before Cat Hill was part of Middlesex, it was Hornsey Art College. For decades they have both been educational sites. I don't think a change of use - when you consider the shortfall in secondary school places - should be allowed."

"Right now there is a lack of primary school places and it is only going to be a couple of years before that happens to secondary places."

"We hope that not only will this school be approved by the Department For Education but the council will rethink the Cat Hill proposal and retain that site also for educational purposes."

The bid for the Greek Orthodox school, which would be called St Andrew The Apostle, will be submitted to the government this week by the Russell Education Trust and the Classical Education Trust.

As a free school it would be outside the control of any local authority and would be able to set its own curriculum.

Under the plans, which state that Trent Park is the preferred site for the school, it would offer lessons in classical subjects such as Latin, Greek and classical civilisation to students aged from 11 to 18.

mary.mcconnell@nlhnews.co.uk

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A performance of the Royal variety



Stage presence: Members of Chickenshed appeared in Mr Dickens And The Actors (above) before the Queen and Prince Phillip, before meeting Their Royal Highnesses back stage after the performance (right)



By Mary McConnell

A GROUP of performers from Southgate put on a show for the Queen last Tuesday, alongside a host of distinguished actors.

Around 15 members of Chickenshed, the inclusive theatre group based in Chase Side, starred in Mr Dickens And The Actors, which was performed at The Guildhall, in central London, to mark the Charles Dickens' bicentenary.

Actors Derek Jacobi, Eddie Redmayne, Samantha Bond and Matthew Kelly starred in the play as well, which was also watched by the Duke of Edinburgh.

Chickenshed's publicity officer Susan

Jamson, who was at the performance last week, said: "We were absolutely thrilled to have been invited to take part and to perform in front of the Queen and the Duke of Edinburgh. It was a spectacular day."

Lissa Hermans, from Chickenshed, sang the first verse of the national anthem solo, before all the other performers joined in.

"It really took your breath away," added Susan. "The Queen then came up on stage and met us. Five members of Chickenshed also went to Buckingham Palace for a reception, and there were members of Dickens' family there as well."

"The Queen and the Duke of Edinburgh

talked to everyone – I think they really impressed everyone with all the questions they asked. I didn't go to the palace but my daughter Emma texted me to say it is big and beautiful. It was a really wonderful experience for everyone involved."

"The children were very excited and it was a dream to perform for the Queen, a little bit surreal."

The Chickenshed performers, who are aged ten and upwards, had been rehearsing since before Christmas, but the first time all the actors performed the play together was on the morning of the performance.

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Students elected to Youth Parliament

By Rebecca Sheppard

TWO students were elected to represent the borough as members of the UK Youth Parliament on Friday.

After a series of fiercely contested presentations at the Millfield Theatre, in Silver Street, Edmonton, Micah Woldu, 18, and Jake Orros, 16, each received the highest number of votes out of seven candidates drawn from the Enfield Youth Parliament.

Micah, who attends St Ignatius College, in Turkey Street, Enfield, spoke about the need for young people to promote themselves and their good work to the masses.

"Too often we focus upon those creating the biggest scenes," he said. "We must draw people's attentions to the efforts of all the youth in Enfield and ensure that their voices are heard through the media."

Jake, who goes to Winchmore School, in Laburnum Grove, called for equality in transport fares for young people in addition to the lowering of university tuition fees.

"Young people are meant to be the future, but how can this be the case if they cannot afford to be educated and go to university?" he asked. "Westminster has been too far away from the youth of Britain for too long."

"The world has changed so much in recent years, particularly with the emergence of social networking. Young people need to establish a global forum through which they can share and exchange points of view."

Two deputy members of UKYP were also elected – Juliana Firaku, 18, from Edmonton County School, and Doni Jones, 18, who attends a school in Barnet.

Each representative was voted for by a relatively exclusive audience consisting of 20 members of the Enfield Youth Parliament and 30 young people from the borough's area youth forums. They will hold their positions in the body for a year.

Upon hearing the results, Jake said: "I feel amazing, fantastic and this is a really good opportunity." Micah added: "I hope now I can act on my manifesto and turn words into reality."

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NEWS

New moves in war on domestic abuse

PICTURE POSED BY MODELS

By Ruth McKee

TWO pilot programmes using sophisticated technology are being tested as part of the latest innovation in the battle to stamp out domestic violence in the borough.

In a bid to help abused partners get in touch with police as soon as possible discreet handsets, specially programmed to alert police as soon as they are activated, will be given to women considered to be "at medium to high risk" of suffering violent domestic abuse.

When activated by the touch of a button the tiny devices immediately alert a response team at police HQ – letting them know instantly who the victim is and where she is. The data even contains details of whether the victim has been attacked before and by whom.

Enfield and Haringey are the first boroughs in London to try out this "TecSOS" scheme, which is funded entirely through the Vodafone Foundation – the charitable branch of the mobile phone giant – meaning the scheme bypasses already over-stretched council budgets.

In another technology-driven pilot scheme, the authority has been testing body-worn cameras since December. The project involves police officers arriving at the scene of an attack with small cameras attached to their uniforms in order to record the immediate aftermath of a domestic violence attack.

The footage is then used as vital evidence in prosecution cases.

Christine Hamilton, Enfield Council's cabinet member for community safety, said: "These cameras provide first-hand evidence of what was tak-



Fighting violence in the home: Handsets and cameras are additional aids to help protect victims of domestic abuse

ing place at the scene.

"The biggest problem in improving conviction rates for domestic violence is that women are afraid to come forward but this innovation will take pressure off the victim."

The camera pilot is funded directly by the government through a community safety grant.

"We have five cameras in place," added Mrs Hamilton. "So far they are proving to be very successful. Both these pilots show we are committed to stamping out domestic violence and stopping it from happening as well as prosecuting the perpetrators."

"We will do whatever we can to support victims and reduce this kind of abuse."

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Football club mourn long-serving Ronnie

Groundsman dies at the age of 79

By Ruth McKee

LONG-SERVING groundsman Ronnie Sturgess, who passed away earlier this month, will be honoured on Friday by the football club he devoted so much time and energy to when his funeral cortege leaves from the Queen Elizabeth Stadium.

Before the devoted fan suffered a massive stroke last August – leaving the 79-year-old seriously ill – he had poured his energy and time into volunteering with football clubs in Enfield.

He started with Enfield FC and was variously press secretary, vice-chairman with a seat on the board of directors and chairman of the grounds committee.

He later devoted himself to the newly-formed Enfield Town.

"He was so dedicated to Enfield FC because of his love and passion for Enfield," his son Mark told the Advertiser. "All my early childhood memories are of football and going round the grounds of the clubs with my dad."

According to Mark, his father was devastated when Enfield FC lost their Southbury Road ground and

Mark revealed that ending his long association with the club was difficult for him.

But the lure of Enfield proved too strong and when the breakaway club, Enfield Town, was established he joined their ranks. He also had a spell at Barnet FC, where he won "groundsman of the year" in 2004.

"It always bothered my dad that the old Enfield club essentially became a homeless club," said Mark.

"It meant so much to him that Enfield Town now have a new home at the QE stadium. He oversaw all the designs, building of the pitch and making sure it was up to scratch.

"It's such a shame that he was not able to see the new stadium because he was so ill for the last few months."

Although Ronnie was unable to fulfil his ambition to see the opening of the new stadium, in Donkey Lane, Enfield, in recognition of all the work he did for the club, his funeral cortege will leave from the ground at 12.15pm on Friday.

His funeral service will be held at 1pm at St Luke's Church, in Brownning Road, Enfield, and there will be refreshments back at the stadium from 2pm.



A man of Enfield: Ronnie Sturgess

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NEWS

PCSO 'humbled' after receiving MBE for her community police role

By Ruth McKee

A PCSO said she feels "humbled" by the Queen's recognition of her years of service to the community after she received an MBE at Buckingham Palace last week.

Trish Holmes, who has been working as a Police Community Support Officer for nine years, after a dramatic career change from her previous job as an IT manager, was awarded the gong for services to community policing.

"I feel humbled that my work has been thought of like that. Actually, when I first got the call about it – I thought it was a joke. I honestly thought this is a wind-up."

Trish admitted she felt overwhelmed when she realised her award would be given to her personally by the Queen. "I know Prince Charles sometimes gives them out – so I was a bit surprised that she was handing out the awards personally. She takes the time to talk to each person, asking about yourself. But to be honest – it's still a bit of a blur."

Trish, who is a PCSO at Enfield police station, maintains she doesn't do anything more or less than her colleagues. "The only thing is – well, I just love my job," she told the Advertiser. "I like talking to people, finding out what's going on in their lives, taking the time to get to know what's going on in the area."

Trish revealed she has never felt in danger in her whole career with the police, despite the fact that PCSOs are not provided with the same protection equipment as their police constable colleagues.

"Dealing with people is the biggest thing. I think people talk to me because I never talk down to people and I never lose my temper," she added.



Overwhelmed: Trish Holmes was surprised to receive gong

Appeal after scooter rider killed in road collision

A SCOOTER rider was killed on Monday morning after a crash with a van travelling in the opposite direction in Meridian Way, Ponders End.

Police officers are appealing for witnesses to the crash, which took

place at around 6.30am. Both Meridian Way and Mollison Avenue were closed for the entire morning.

The 50-year-old scooter rider died of his injuries at the scene, which was near the Coca Cola factory.







In particular, the police would like to talk to the driver of a small silver car, which was travelling south at the time. Anyone with information should call the Road Death Investigation Unit at Chadwell Heath on 020 8597 4874.

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Four wanted as woman's home is ransacked as she is held captive

A GANG of four men broke into the home of a pensioner and held her captive while they ransacked her home and stole £300 and gold jewellery.

Police are calling for witnesses to come forward after the burglary in Ruskin Walk, Edmonton, at 5.30pm on Friday February 10.

The 63-year-old woman was on her own in her home when the men broke in by smashing a window. They are described as black, and were wearing black hoodies and brown bandanas over their faces. They were also wearing gloves.

Anyone who saw anybody in the area acting suspiciously or has any information is asked to call Detective Sergeant Stuart Miller, from Enfield police, on 020 8345 4448, or Crimestoppers on 0800 555 111 to remain anonymous.

Twitter @NrthLondonNews

NEWS

MP backs group opposed to lifting gay marriage ban

By Ruth McKee

AN MP at the forefront of a campaign against lifting the ban on gay marriage has thrown his weight behind a newly-formed opposition group, which is petitioning the government.

David Burrowes, MP for Enfield Southgate, is one of the organisers of a revolt against plans to change the legal definition of marriage allowing gay couples to marry, which will be put forward for public consultation next month.

At the moment the law allows same-sex couples to enter into civil partnerships, which afford them the same legal rights as straight married couples. However the term "marriage" is still reserved for heterosexual unions.

Mr Burrowes told the Advertiser: "This is an issue about the state definition of marriage as being a union between one man and one woman as recognised by law, it is something the state has recognised for many years as a valuable part of society. We need to keep marriage as a distinct institution that is different from other relationships – if one changes the scope of marriage it changes its purpose."

But equal marriage rights campaigner Phillip Dawson has launched a counter-campaign after Mr Burrowes told the Independent newspaper that the topic "is not an issue people are hammering us on the doorstep about".

The campaigner, who is also the treasurer for



Wants ban lifted: Phillip Dawson

the Conservative Association in Enfield, has set up a Facebook group in reaction to the MP's comments.

"I launched the group to show that although maybe it's an issue most people do not write to their MP about, it is an issue that people do feel very strongly about," he said. "It is about equal marriage rights for everyone."

Mr Burrowes is backing the newly-launched "coalition for marriage" – a group which "supports traditional marriage and opposes any plans to redefine it" and has set up a website including a petition against legalising gay marriage.

Although MPs will be allowed to vote "according to conscience", David Cameron has publicly backed gay marriage, meaning a back-bench rebellion would be a significant loss for the government.

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The ENFIELD ADVERTISER COMMENT

We must all tackle domestic violence

IT IS a terrible fact but one we cannot ignore that domestic violence can happen behind any front door, through any net curtain.

The fact that investment, even from global giants like Vodafone, into preventing this abuse and trying to protect the victims is still being found in this time of austerity is welcome news.

It's a shame that the nature of the crime means that these new tools will be enabled after or during an attack.

The more people who are prosecuted for this abhorrent crime the better, and the more we talk about it, the more chances that the evil violent offenders will think again before raising a hand or a weapon against their partner.

Change will help to bring equality

WHAT'S in a name? If civil partnerships are as good as marriage for legal rights and spousal recognition, why do we need to legislate to change what the word marriage means?

But it is the very fact that gay couples are forced to be "special" and different by calling their unions "civil partnerships", rather than marriages, which proves there is not yet true equality between straight and gay couples.

Same-sex couples are granted rights but are forced by semantics to be separate and apart from mainstream society.

Marriage is a union of two people – it has been recognised as the cornerstone of society – it has been held up as the ultimate achievement and goal for many.

And by clinging tight to an out-dated, limited definition of what marriage means we are preventing millions of committed and loved-up couples the chance to tell the world and her wife "I am married".

GUIDELINES

Send letters to **Letters to the Editor, The Enfield Advertiser, 4th floor, Refuge House, 9-10 River Front, Enfield, EN1 3SZ** or fax them to **020 8366 9376**.

Letters should be no more than 300 words long. Please state clearly your name and full address. Your house number and post-code will not be published. Details will only be withheld in exceptional circumstances. We reserve the right to edit letters.

Twitter @NrthLondonNews

More to problems than parking fees

TRADERS are crying out in pain and we all have a lot of sympathy for them. Times are tough but their problems do not begin or end with a small increase in charges for parking. The true causes arise directly out of the policies of the Tory-led coalition, the lack of investment in jobs, the lack of support for businesses and the VAT rise imposed a year ago.

That VAT rise hurts the poorest, who necessarily spend most of their income, much more than the wealthy, who tend to save more of theirs. It discourages spending. It

hits small retailers, who have either to take the additional charge out of their own pockets or pass it on to their customers. Retailers also have to foot the considerable costs of administering VAT. Suppliers and manufacturers are suffering for the same reasons.

The increase in VAT doesn't just affect luxury goods. It makes everything more expensive, for example, although food items are generally zero-rated, the cost of transporting food to shops has risen significantly because of the increased cost of diesel fuel.

There is no escape for anyone from this tax, and the cost to the average household of the VAT hike has been estimated to be as much as £500 a year.

So, let's hear no more whining from the local Conservatives about the small additional parking charges. That's just a smoke-screen. Can you smell the fire? That's the economy burning, at the hands of our arsonist Tory-led coalition, leaving only ashes for all of us.

Councillor Ingrid Cranfield
Lower Edmonton Ward

Let's address Go Ape! situation rationally

ARTICLES about Go Ape! and people smearing tool handles with dog poo (Advertiser, February 15) gets us nowhere except adding to the heat of the debate without shedding light.

Having searched the web on this issue, I find that there are indeed several protests against Go Ape! projects countryside (including Scotland and Wales). Some of these are about car parking and congestion on the roads, others about the invasion of quiet countryside by a noisy attraction, which would be visited mainly by teenagers. What has not so far been revealed is that it costs quite a lot to have fun with Go Ape!. One quote was £45 for one adult plus child.

The council has clearly done a deal because upkeep of parks, together with all their other expenditure, is being affected by the recession.

The danger is that our open spaces will gradually become commercialised. Do we want this?

Presumably, no one intends to stop people enjoying themselves – but at what price?

But please, hold the dog poo. Let us talk rationally. It is a difficult question and it cannot be solved by smears, of whatever description.

Mike Turner
Percival Road, Enfield

What is all the fuss about this attraction?

I REGULARLY visit Trent Park and I fail to understand why the so called True Friends of the Park are making such a fuss about the Go Ape! project.

There are very few amenities in the park. The council, which is often criticised for one thing or another, is to be given credit for inviting the organisation responsible for installing this exciting project, which occupies a small area of the 430 acres of the park and in no way detracts from the beauty of the country park.

I was present in the cafe in the park in August, when a lady from the council spent some time giving detailed information on the project to a large

number of people assembled there and inviting comments. There were very few objections. I was also present at a meeting of the Friends of the Park a few months ago, when an officer from the parks department gave a presentation of the then proposed project and when put to the vote received unanimous approval. I really feel that the efforts of the protesters should be focused on what happens to the university site now that Middlesex University are moving to Hendon. The Go Ape! project pales into insignificance in comparison.

DW Williams
Address withheld

You can email your letters to us at letters.enfield@nlhnews.co.uk

Please remember to include your name and address

OPINION

Address funding inequalities

THANK you for bringing the chronic under-funding of primary care, and in particular general practice, in North Central London to the attention of your readers (Borough hit bottom for poor primary care in NHS chiefs' report, Advertiser, February 8).

For years, despite the best efforts of the local medical committee, practices have been under-resourced and poorly supported by previous NHS administrations. Where there are variations in GP premises, it is more to do with how successful an individual practice has been in achieving modest support to improve its premises, rather than any significant investment in family doctor services across the borough.

Patients, practices and the general public in North Central London deserve to see funding inequalities in health (and social care) being addressed as a matter of priority.

Dr Martin Lindsay

Haringey Local Medical Committee

What about the council's homes?

EVERY morning on the BBC there is a programme called Britain's Empty Homes and part of the programme is taken up by Enfield's Property Officer, whose job it is to look into empty or derelict houses and get them renovated so they can be lived in.

It is good to know that Enfield Council is doing something to help get these eyesores inhabitable again but why is it, when visiting other part of the borough, do we see so many council properties boarded up? Take the 20 or more properties in Parsonage Lane, which must have been boarded up for over five years, and also the block of apartments in St George's Road.

P Grosch
Carterhatch Road, Enfield

A simple idea

I AM writing regarding your front page headline "Our shops are doomed" (Advertiser, February 15). Shops have lived through difficult situations before.

My family owned six corner shops. They all had to work hard and were open all hours. Money was very tight and we had to compete with other shops with ideas like taking money off the price of goods.

This country has always been known as a nation of shopkeepers and these days customers are always looking for bargains like buy one and get one free. Why not sell the items separately at the lower price?

Marie Harison East
Westmoor Gardens, Enfield

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Hazel Nelson-Williams

Family matters

Importance of discipline

IN ITS origin, discipline referred to systematic instruction given to disciples to train them as students in a craft or trade, or to follow a code of conduct or "order".

Unfortunately now the phrase "to discipline" carries a negative connotation, because enforcement of order, that is, ensuring instructions are carried out, is often regulated through punishment.

This approach has been adopted through the years by each generation of course, often taking the adage, "raise up a child in the way they should grow, so when he is old he will not depart from it" (Proverbs 22:6).

This article is not intended to make the reader feel guilty as by and large this is due to mis-education passed down from our forefathers.

Most of what we want children to adhere to comes from applying and re-applying routine and learned behaviour. So to teach a child to wash their hands after a meal, you would first have to be wet wiping a child's hands after being fed, so while learning how to feed themselves they are also learning cleaning is part of the process.

Children learn best from watching and imitating what you do.

Discipline should not be seen as a form of punishment alone. It should refer to methods of modelling character, teaching self-control, respect for others and acceptable social behaviour. After all what's acceptable in your house might certainly not be acceptable in someone else's, always remembering how you behave with other people while your child looks on, is all part of the discipleship process.

I was completely astounded recently while watching a school production, a disruptive eight-year-old was being appropriately corrected by his teacher, his disgruntled mother got up from the audience, told the teacher off and took the child back to her seat. Now that child will not learn social behaviour because his parent clearly has none.

In the majority of cases a child's behaviour is directly correlated to their custodians; children make good disciples, they are the product of their mentors.

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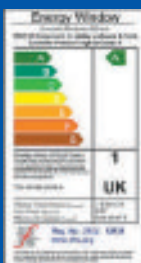
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Man, 38, on stabbing charge

A MAN appeared in court on Tuesday accused of stabbing a 37-year-old man in Tottenham earlier this month.

O'Neil McLeod, 38, of Carterhatch Lane, Enfield, was charged with grievous bodily harm in Lawrence Road on Sunday February 12 when he appeared at Highgate Magistrates' Court.

Police called to the scene of the incident at 6am found four men injured.

Fears grow for rave party-goer

By Matthew Stanton

THE uncle of a man who went missing following a rave fears the worst may have happened.

Brian Cooke, 63, is concerned over the welfare of his nephew Andrew Cooke, who has been missing since leaving a "squat party" at a disused car showroom in Lea Valley Road.

It is believed the 29-year-old, from Crystal Palace in south London, was last seen leaving the party at about 3am on Sunday February 12.

Andrew's family understand he became ill during the party and that he may have taken drugs.

Relatives were out in force in Chingford on Sunday where they handed out more than 2,000 leaflets to passers-by.

Brian said: "We have to remain optimistic but Andrew has been missing 12 days now. We fear he could be dead."

"Andrew going missing is completely out of character and his whole family is concerned. We know he was ill and we understand he may have taken drugs."

"Searches have taken place around the

nearby reservoirs. I would urge anyone with information to contact the police immediately."

Police believe Andrew travelled to the venue alone after his girlfriend Denise declined to go. He is described as white, very slim and about 5ft 10ins tall, with strawberry blond hair and hazel eyes. He was wearing a grey beanie hat, blue jacket and blue checked scarf.

Anyone who may have seen him or knows how he left the venue or where he went afterwards should call police on 020 7232 6246, or 101.



Missing: Andrew Cooke

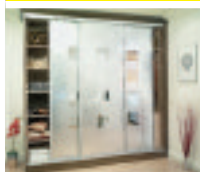
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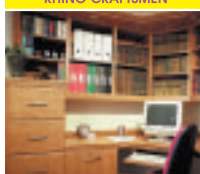
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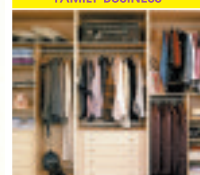
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Armed raiders rob bookmaker

POLICE are appealing for witnesses after staff at a betting shop had a gun pointed at them.

Two men wearing hooded tops carried out the raid at Bruce bookmakers in Hertford Road, Enfield, on Saturday February 11 shortly before 2.30pm.

One stayed at the door while his accomplice went up to the counter armed with a handgun.

He held the gun up at a member of staff and demanded cash. The staff member handed over the money and the raiders left the shop, turning left.

Detective Constable Andy Terry, from the Flying Squad, said: "This was a busy area at a busy time of day and we are keen to hear from any witnesses."

The robbers are described as black, aged 18 to 20 and about 5ft 8ins or 5ft 9ins tall. Both were wearing dark jackets, hoods and gloves.

Anyone with information is asked to contact the Flying Squad on 020 8345 4226, or call Crimestoppers, anonymously, on 0800 555 111.

Man accused of shop theft

TWO men were arrested on suspicion of theft on Monday afternoon after being chased through Enfield Town centre and along Southbury Road by an off-duty police officer.

The two were chased through the shopping centre by security staff from Pearson's department store, who called the police, and the off-duty officer.

A short time later, police cars and vans arrived in Southbury Road, near the Royal Mail sorting office, where the suspects had been detained.

Damien Yethman, 31, of no fixed abode, has been charged with theft and is due to appear at Enfield Magistrates' Court today. A 40-year-old has been released without charge.

Handbag snatch from woman, 92

A 92-YEAR-old woman's handbag was snatched in Winchmore Hill last week.

The victim had just got off a 329 bus from Enfield Town in Green Lanes and turned left into Carpenter Gardens.

Her bag was stolen by someone who approached her from behind and she was left very shaken by the theft.

The thief is described as a white boy aged between 13 and 15, who was wearing white trousers and a white hooded jacket.

Anyone with information about the suspect or who saw anybody acting suspiciously should call Detective Constable Darren Bheekoo at Enfield police on 020 8345 4469, or Crimestoppers on 0800 555 111.

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The pace of technological change has meant that the product range and services on offer are constantly evolving. Where once stood huge old fashioned CRT televisions are now the latest sleek BRAVIA flat-panel range of LCD & LED TVs. Fully high definition with built-in digital tuner for boxless Freeview. The range offers guarantees of colour and image clarity like no other. Sony now includes free 5 year warranties on most TVs and you'll currently find easy payment terms in store from 6 to 24 months on selected models.

Another area which has seen significant technological developments is the VAIO range of laptop computers. Crammed with the latest technology and styled in a range of desirable colours and finishes, these models represent the most desirable laptops on the market, and just like the multi award winning new Sony Tablet, come with a Free 2 year warranty.



Enfield's state-of-the-art Sony Centre store in Palace Gardens Shopping Centre.

Digital Photography has been another major success story at Enfield. Sony are ahead of the competition with their Cyber-shot digital camera range and the Enfield store offers over 15 models including a huge range of accessories.

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The business brains behind the store is the well known & trusted local business figure Max Bywater whose family have over 30 years of invaluable experience running photographic and electrical stores in North London & Hertfordshire.

Despite the current boom in online retailing & reports that we're witnessing the beginning of the end for high street retailers, this certainly isn't the case at Enfield Sony Centre.

Max explains "When it comes to making a major purchase like replacing your TV for a new flat panel model, most people prefer to speak face to face with a genuine fully trained advisor. At Enfield Sony Centre we offer great value plus can arrange home delivery & installation - what you don't get on the internet is this total peace of mind".

"Our staff live & breathe Sony and are on hand to answer any queries you may have. And due to our extensive range all on display, customers can experience the full effect of the very latest technology on show."

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hrc

Syria's sights are set as role model to the community

By Ruth McKee

ANNE-MARIE SANDERSON

A TEENAGE model is battling it out with 42 others at a boot camp where contestants in Miss London 2012 will compete to be selected for the live final.

Syria Edghill, 19, from Enfield, is one of those to have made the cut from hundreds of girls from across the capital who entered the modelling competition.

Syria, an accountancy and finance student, who has been modelling since she was 16, told the Advertiser: "I like the fact you can represent your community. You can do things for where you live, maybe do things for the youth."

"Young people have a bit of a bad stereotype and I think if there were other things for them to do – like recording studios where people who are interested in music don't have to pay much for recording time – I think it would really help."

The 42 girls at boot camp will be whittled down to ten finalists, who will then compete in the live pageant final in the Café de Paris, in central London, on March 17 where the girl crowned Miss London will win model agency representation and will go through to the finals of Miss England in June.

Syria, who cites American model and TV presenter Tyra Banks as her inspiration, trained with Bodens Youth Theatre and has already experienced fame with parts in EastEnders and Holby City and on satellite channel Nickelodeon.

"My lecturers always ask me, 'Are you sure you want to be an accountant?' but I think it is really important to be well-rounded."

"I love modelling and if I had the chance to be a model like Tyra that would be great, but I would also love to use my accountancy training in a really good finance firm," she added.

As well as the Miss London title, one of the girls will be crowned Miss Popularity – based on the results of an online poll in which the public can text to vote for their favourite model –



Miss London hopeful: Syria Edghill

www.missengland.info/regionals/london.

Voting lines are open to the public until March 12 at 5pm.



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David Burrowes MP

A view from Westminster

Council cannot just wish away area's objections to Pinkham Way waste plant

THE current work on improvements to the A406 and New Southgate area will mean that some of the most neglected parts of my constituency can look forward to being the most regenerated.

I am urging both Notting Hill Housing Trust and Transport For London to do all they can to make the most of the opportunity.

However, Enfield Council's North Circular Area Action Plan lets us all down. There is no mention of plans to build Britain's biggest waste management site at Pinkham Way. The planning inspector has this week been considering Haringey's designation of the site. I have objected to the plan to widen the range of uses on the site to include heavy industrial type uses, with all the potential noise, pollution and traffic congestion impacting upon the local environment.

It is a shame the council did not join in those objections, but I suppose they will argue it is a matter for Haringey Council.

However, what is a matter for our council is in its area action plan's lack of any mention of Pinkham Way, it betrays its indifference to the impact of the proposed waste management site on my constituents. Last year the council leader Doug Taylor ducked the opportunity to reject the North London Waste Plan because the authority could not reject its "own plan".

' The council wants to put its head in the sand. **'**

This year the council wants to put its head in the sand and hope our local area's objections to Pinkham Way will go away. They will not, and we have until Friday to let the council know what we think.

Second, the plan also talks about "the long-term economic vitality and sustainability" of local shops is a "key consideration". Why then has the council failed to consult any of the businesses along Green Lanes and Bowes Road about its plans? These shops are on their last legs and need the council to spend less money on flawed glossy consultations and more on making it easier for shoppers to park and reduce their business rates.

TELL US WHAT YOU THINK

- ☐ Write to Letters to the Editor, The Enfield Advertiser, 4th floor, Refuge House, 9-10 River Front, Enfield, EN1 3SZ
- ☐ Email letters.enfield@nlhnews.co.uk

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Ian McCormack

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Birthdays



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Deaths

ELIZABETH A. BROWN

Born 19.12.1931 in Brooklyn, New York.
Passed away suddenly on Tuesday 7th February.
The committal will be at Enfield Crematorium
on Thursday 23rd February at 9.45am.
No flowers by request, donations to
Barnardo's please.

LILIAN MAY BANKS "NAN"

03.06.1912 to 17.02.2012

Sadly passed away after a sudden illness. Family
would like to thank Cedar House Care Home and
Cambridge Ward, Chase Farm Hospital.
Funeral Service, Thursday 1st March 2012 at
Enfield Baptist Church at 10am. Enfield
Crematorium 11.45am.
Rest in peace from your loving family.

DOWDALL, JANE LOUISE

Aged 38 Years

Died suddenly on 12th February, 2012 at North
Middlesex Hospital, London.
Beloved daughter to Christopher and Janice,
sister to Kate and fiancée of Steve.

Funeral Service to be held on Tuesday,
28th February at Enfield Crematorium at 2.45pm.
All friends of Jane are welcome to attend. Flowers
and donations will be kindly accepted if desired.
All enquiries to the Co-operative Funeralcare
on 020 8804 7171

STANLEY CHARLES POOLEY

Passed away peacefully in Chase Farm
Hospital on Monday February 6, aged 89.
A much loved father and grandfather. Car hire
chauffeur of long-standing in Forest Road,
Edmonton.

Funeral service at Enfield Crematorium on
Thursday 23 February 2012 at 12 noon.

Donations if desired to:
Barnet & Chase Farm Hospitals Charitable
Fund c/o Co-op Funeral Care, Lancaster Road,
113-119 Lancaster Road, Enfield, Middlesex.
Tel: 020 8363 6301.

Bernard Cole
11.09.1928 to
04.02.2012

Funeral to be held at
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In Memoriam

MARIAN ELIZABETH CHAMBERLAIN

February 1934 to February 2011
Beloved Wife, Mother, Nanna
and Friend.
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Neville, Andrew, Julia, Helen, Rob,
Beth, Ella and Rowan

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FAMILY ANNOUNCEMENTS

New home is needed for old drawing of gymnasts



By Mary McConnell

A CARICATURE of a group of
gymnasts created 90 years ago needs
a new home after the current owner
kindly decided to give it away.

Retired maths teacher Mary Brace
is the granddaughter of Sydney
Tappenden, who takes centre stage
in the caricature, which dates back
to 1922.

Sydney, who was the gym instructor
at Bowes Gym at the time, was
40 years old when the caricature
was drawn. He sadly died just eight
years later.

Seven other gymnasts are featured
in the drawing and they were all
taking part in an open-air display
in Wood Green on Saturday July
15 1922.

Mary, 60, told the Advertiser she
was looking for relatives of the
gymnasts or the caricaturist to come
forward so the drawing could go to a
loving home.

"I don't have any children myself
and I am the last descendant from
that line in the family," she said.

"I would like the caricature to go



Ninety years old: The 1922 caricature owned by Mary Brace (pictured left), the granddaughter of gym instructor Sydney Tappenden. She is keen to pass it on to one of the other families involved

to someone who could pass it to
their children as it would be a shame
for it to be lost or destroyed."

The seven other gymnasts are
C.E. Matthews, Lydia Ullmer, C.E.
Hill, Grace Ives, W.E. White, Miss
Play and A.R. Relph, while the
artist, whose name is difficult to

read, appears to be Josh Walker or
Josh H. Walker.

"I have been trying to get in touch
with the families of these gymnasts
but haven't had much luck," added
Mary. "I tracked down a family of
Ullmers in Australia but discovered
they weren't the right ones."

Mary, who lives in Braintree in
Essex, is not certain exactly where
Bowes Gym, which no longer exists,
used to be.

Anyone with a claim to the
caricature or any other information
should email Mary at angelamarybrace@fsmail.net

Announcement

TO HELEN WALVIN

or anyone who knows her.

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what's on

Riots set the scene for slant on British politics

IT IS less than a year since rioters caused havoc in Enfield, Tottenham and beyond and now one theatre group is to bring its own take on the disturbances to the Dugdale Centre.

Rioting For Dummies (A Beginner's Guide To Modern Britain) is a 60-minute, high-energy romp through contemporary British politics, which will try to explain the state we are in.

Silly costumes, physical comedy and outlandish props will combine as Finger In The Pie Theatre takes a look at rioters, bankers, the occupy movement and the expenses scandal, as well as plenty more squeezed in between.

Rioting For Dummies is one of two shows the theatre group is bringing to the Dugdale. At the end of March it will stage The Life And Times Of Shirley Valentine, a burlesque-style vintage variety show, which follows the titular music hall legend on a theatrical jaunt through Edwardian London.

Since it started in 2004 Finger In The Pie has developed into one of the most critically acclaimed emerging theatre companies in Britain. The Fringe Report recently gave its Best Artistic Director Award to Finger In The Pie's Alex Parsonage and its production of Sweeney Todd: His Life, Times And Execution, and it also won five-star reviews at the



Running riot: Finger In The Pie Theatre is presenting *Rioting For Dummies* (A Beginner's Guide To Modern Britain) at the Dugdale Centre in Enfield Town next week

Edinburgh Fringe Festival.

The theatre group was founded by a group of Warwick University graduates with a passion for devised physical theatre and it is currently taking *Rioting For Dummies* on a national tour.

Rioting For Dummies will be at the Dugdale

Theatre, London Road, Enfield, from Wednesday February 29 until Saturday March 3, with performances starting at 8pm.

The *Life And Times Of Shirley Valentine* will be at the Dugdale on March 23 and 24 at 8pm.

Box office 020 8807 6680.

The Westender



with Mary McConnell

IT WAS all cut-glass accents and jolly hockey sticks as the cast of the Fitzrovia Radio Hour took to the stage, complete with dinner jackets, evening gowns and stiff upper-lips all round.

These pastiches of 1940s' radio plays were performed to wonderful comic effect by the versatile cast of five in this charming, madcap show.

Lots of laughs came via a few double entendres, silly accents and squelching oranges, while comical adverts for a brand of tea were woven through the show.

The audience was particularly tickled by a whisky bottle, which was spot-on as the sonar sounds of a German U-boat, and the noise of a monster from the deep blue sea, which came by way of the ingenious use of a bath mat and a rain mac.

The five actors playing all the roles were outstanding – funny, with perfect accents and arched eyebrows in all the right places.

Fiona Sheehan and Natalie Ball were especially good in roles such as Tommy and Dickie – the two schoolboys called into action to fight the Nazis.

At times, with the actors constantly swapping roles and so much happening on stage, it could be difficult to keep track of who was who. Nevertheless it amounted to a very silly, funny way to spend a dreary winter evening.

Until March 6.

The Ambassadors Theatre
London, WC2H 9ND.

Box office 08448 112 334.

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To find out more about Fostering for Enfield you can apply online at www.enfield.gov.uk, or email fostering@enfield.gov.uk or simply call 020 8379 2831 to register your interest.

Details about our information sessions and recruitment events are also listed on the Enfield Council website.



Images inspired by looked after children in Enfield

kidz club

Tails aplenty in animal fables



Cast of creatures: Aesop's Fables are brought musically to the Jacksons Lane stage

BITESIZED versions of Aesop's Fables are being brought to life at Jacksons Lane next month.

With a psychedelic set and crazy animal costumes, just three actors have the task of playing all the characters in a series of tales, based on well-known stories, including the Tortoise And The Hare and The Boy Who Cried Wolf.

The show, which is just starting its UK tour, is coming to Jacksons Lane, in Archway Road, Highgate, on Sunday March 4.

Penned by the Welsh star of

BBC sitcom My Family, Keiron Self, the production comes from the Na N'Og theatre company, based in Neath, in south Wales.

Artist director Geinor Styles said the company would be touring the country with the show, which will begin with a sell-out run in Colchester before moving to London.

"We toured with our previous show, another version of Aesop's Fables, primarily around Wales, but we got some really good feedback so we decided to bring it out again and this time we

decided to bring it to the rest of the UK," said Geinor.

"We have got just three actors playing the mouse, the tortoise and the lion and they will then swap about and play different characters.

"It is one of those things that has a bit of appeal for everybody. It is great for all ages to enjoy. There are lots of songs that will be familiar to people. There are some Morecambe and Wise songs in there."

● Jacksons Lane, 269a Archway Road, London, N6 5AA. Box office 020 8341 4421. Tickets £8.95.

MANY HAPPY RETURNS TO...

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● **SIMON MALUNDAMA** from

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Sunday
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● **LAUREN BREAERY** from Enfield who is ten on Tuesday
● **ALEX MINAS** from Cheshunt who is ten on Tuesday
● **SAM PETTICAN** from Enfield who is 11 on Tuesday

KIDZ CLUB PROFILE

NAME: Taimaz Nasimi

FROM: Enfield

AGE: Six

MEMBER NO: 2180



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FAVOURITE TV PROGRAMME: Ultimate Ben 10

INTERESTS: Playing with his Xbox, Nintendo DS and boxing

WANTS TO BE: A fireman

Now sign me up!



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food

Diane finds tea shop idea proves to be piece of cake



New brew: Diane Odling-Smee opened up Baskervilles Tea Shop



Restaurant News

Baskervilles Tea Shop
66 Aldermans Hill
Palmer's Green
N13 4PP

WITH 19 different blends, all chosen to suit the area, the tea fans of Palmer's Green are certainly spoilt for choice at Baskervilles Tea Shop. But as well as teas, such as Alder-

mans Afternoon and Broomfield Breakfast, home-made cakes, sandwiches and jacket potatoes are also on offer at Baskervilles, in Aldermans Hill.

After working for the NHS for 30 years Diane Odling-Smee finally fulfilled her dream when she opened the tea room seven months ago.

"I had done 30 years so I wanted to do something else," explained Diane. "I had always wanted to run a tea shop - I live round the corner and when I saw this place I thought it was the perfect site. I am quite

creative and I have always baked so this was perfect for me. I made everything that is in the shop, like the cushions.

"I thought there was nothing around Palmer's Green for me. I always visit places like this when I am on holiday, but why should you have to go on holiday to go to a nice tea room?"

In addition to the traditional favourites like Victoria sponge, carrot cake and scones, there are also seasonal varieties of cakes on offer such as Valentine's Day cup cakes

and cakes for Christmas and Easter. "There is a real emphasis on quality here," added Diane.

"As much as we can, things are sourced locally and all the cheeses in our ploughman's lunches are British."

The tea shop also runs children's after-school sewing classes and will soon extend those to adults. "Doing the sewing and tearoom was always my vision but we have been so busy that I have not been able to start up the sewing side of things as quickly as I have imagined," said Diane.

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Sun 4th Mar. 6.30pm - Red Goldin
Thur 8th Mar. 7.30pm - Carol Turner
Sun 11th Mar. 6.30pm - George Lawson
Thur 15th Mar. 7.30pm - Marie Taylor
Sun 18th Mar. 6.30pm - Yvonne & Alan Clayton
Thur 22nd Mar 7.30pm - Mark Maddock & Dorey Darcy
Sun 25th Mar 6.30pm - Maria Antonio
Thur 29th Mar 7.30pm - Julie Webster
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families

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WELCOME to the latest edition of Families In The Loop, packed with stories focused on local businesses, education centres and charities as well as a plentiful supply of competitions to keep you occupied this month.

Find out how local businesses are trying to help men and women look like the stars. Read about eating-without-the-guilt weight-loss programmes, toxin-expelling treatments as well as innovative compression, vacuum and exercise systems on [pages 3 and 10](#).

Also find out how the ever-expanding world of social media may be able to help you connect with customers and boost your business' sales on [page 8](#).

Don't miss out on our exclusive reader offer for workshops held by the Loving Social Media team in Enfield next week. And if your company is still in a pickle you can also book an appointment with the new Business Doctor, financial expert Peter Willet on [page 6](#).

Also on [pages 6 and 7](#) find out how local charities, the North London Hospice and Noah's Ark Children's Hospice, which support families in Barnet, Enfield and Haringey, are keeping their heads above water in these difficult economic times.

And finally we have not one, not two, but three competitions for you to enter.

Win tickets for a family trip on the East Riding train to Yorkshire on this page, flick to [page 10](#) for our exclusive Mother's Day Champneys offer, perfect for the last minute gift and cast your eye to the opposite page for a chance to win tickets to see the popular West End production of Sweeney Todd.

So good luck, enjoy the read and please remember to support local businesses and charities as well as send us your feedback by emailing families@nlhnews.co.uk



Get on track for steam train treat by entering top vintage competition

STEAM special The East Riding will stop at Potters Bar on Saturday, April 14. Hauled by 61-year-old historic locomotive 70013 Oliver Cromwell, the train is bound to turn heads as it stops to collect passengers for a nostalgic day out.

Heading north for Yorkshire's East Riding, this steam train with its restored 1950s and 1960s vintage carriages will stop at Potters Bar at around 08.40.

Magnificent locomotive 70013 Oliver Cromwell is famed for hauling British Railways' last steam passenger service in 1968. This Britannia class Pacific 4-6-2 was built in 1951.

The East Riding service will steam along the River Humber with fine views of the estuary, passing under the dramatic Humber Bridge, onwards through historic Beverley and into the low chalk hills of the Wolds, now made famous by artist David Hockney.

The train will stop at Scarborough for nearly two hours, with a chance to explore the seaside resort's two sandy bays or ruined castle or stroll along its Victorian promenade.

Thanks to The Railway Touring Company we have a family first-class ticket worth £336 for a lucky reader, including morning coffee with Danish pastry served on board and afternoon tea with fingers sandwiches, scones, jam and cream. Enter our competition below and you could have a date with The East Riding.

Standard tickets for The East Riding are £84 per person, first class £129 and premier dining £199. Family and junior tickets are available and there will be a buffet car. Call The Railway Touring Company on 01553 661500 or go to www.railwaytouring.co.uk



All aboard: The East Riding will stop at Potters Bar on a trip through the Yorkshire countryside

To be in with a chance of winning our prize family ticket for The East Riding on Saturday, April 14, answer the following question:

In what year was the original Potters Bar and South Mimms railway station built?

The Railway Touring Company's conditions of booking and travel apply. A family ticket is for two adults and two juniors aged 15 and under.

Send your answer along with your name, address and daytime telephone number to Steam Train competition, North London & Herts Newspapers, 4th floor, Refuge House, 9-10 River Front, Enfield, Middlesex EN1 3SZ. All entries must be received by no later than March 2.

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in the loop

Join forces to get slimming

FRIENDS, families and communities are being invited to pull together to tighten their belts a notch in the Slimming World: Let's Beat Obesity Together In Enfield.

The 12-week long challenge is hoping that by communities coming together to strive to lose weight the borough will be a healthier place to live.

"Losing weight doesn't have to be a joyless experience," says Christine Griffith, who runs a group in Brigadier Hill, Enfield. "You don't have to go hungry and you don't have to deprive yourself of your favourite foods either. It's about regular support and making small, realistic changes that you can keep up in the long term."

"By sharing ideas, inspirations and local knowledge, the slimmers in my group have learned how to make clever choices for a healthier lifestyle. We'd love anyone who'd like to find out more to come join us during our 12-week Let's Beat Obesity Together challenge."

One family who joined Slimming World in October has already seen the benefits losing a combined 5st 6lbs.

Sarah Howard, a financial assistant at a secondary school, joined with her daughter Hollie Brewer and her mother Fay Ringrose.

Sarah has lost more than a stone and a half, she told In The Loop: "My weight has gone up and down all my life, I've never kept it off. This time I'm losing weight more gradually so I'm hoping it will stay off."

"I've tried a yeast-free diet, but that was really restrictive on what you can eat. With Slimming World you can eat everything, you just have to account for it and you can save your points for the weekend."

Her daughter Hollie, has lost more than two stone under the plan.

She said: "I'm really enjoying it, it's worked really well for me. You can eat so much as well of the right foods, I never feel guilty for eating too much and you can eat the foods you like."

"I thought I would lose a bit and it would



Family team: Fay Ringrose, Sarah Howard and Hollie Brewer supported each other

stop working, but it hasn't. It's really easy to follow."

Her grandmother Fay has had part of her thyroid removed and was sceptical about whether the plan would work. She has lost almost two stones.

"I didn't expect to lose any weight at all," she said. "I thought as I'm 66 I won't be able to lose weight. I have never eaten so much and now I've lost nearly two stone. We are all on the extra easy diet. You can't believe what you can eat and lose weight."

"People are beginning to notice and I've got more energy - I'm really pleased."

Slimmers who sign up to Slimming World and the Let's Beat It Together campaign before February 25 and buy a 12-week countdown to take part in the challenge will get free membership worth £10 plus two weeks free worth £9.90 - a total saving of £19.90.

All clear for a colonic irrigation

A SOLUTION to bloated feelings, bad skin, constipation and headaches could be a session of colon hydrotherapy.

Julia Fionda from Aqua di Aqua says colonic irrigation is one way of kick-starting your metabolism and clearing your body of toxins.

The clinic, in East Barnet Road, offers a private setting for the treatment, which has become more popular since the TV series The Only Way Is Essex.

Julia says: "It's more acceptable now than when Princess Diana was around. People don't feel they have to keep quiet about it now."

"Everyone's petrified when they come in, but when they leave you can see their eyes are brighter because the toxins are not there."

The clinic has been providing the service for five years and says it has also become popular with men. They use the Libbe system, which allows clients privacy. The 40-minute treatment clears a third of the bowel of up to 20 pound of waste as well as toxins from coffee, alcohol, smoking as well as prescriptive drugs. Clients can lie on their back, read a magazine or book or use their phone while having the treatment. The clinic suggests a series of three sessions to clear a client's system.



Detox: Aqua di Aqua staff have been providing the service for five years

"A lot of people don't have bowel movement every day. This kick-starts the colon and sets the bowel to start working again," added Julia.

"Also clients say their back aches and headaches are gone by the time they come in for their second session."

Clients fill in a health check form before having treatments. Take this article to the clinic and you can buy one session at £80 or £160 for three. For more information call 020 8441 4432.



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A' LEVEL BIOLOGY: 6 - 7pm
KS3 ENGLISH: 6 - 7pm

Thursdays:

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A step into education

MUTUAL respect and expectations are the techniques used by an education centre to get youngsters back into the learning environment.

FreshSteps, in Claverings Industrial Estate, Edmonton, helps more than ten pupils aged between 11 and 16, who are at risk of becoming excluded from mainstream education, through mentoring and an alternative curriculum to help students to achieve their full potential.

Set up by Diane Anderson in 2009 the centre's first graduates headed off to college to train in carpentry and media studies after completing GCSE equivalent exams in functional skills in English, maths, ICT, citizenship as well as a GCSE in design and technology. The centre aims to ensure children move on to further education rather than becoming NEET – not in education, employment or training.

She said: "The centre was set up for young people who can't really cope with mainstream education, to pick them up rather than allow them to become excluded and involved in anti-social behaviour. We work with schools, special education co-ordinators and the youth offending team.

"Many of the children come in with low literacy skills, we work on trying to get them re-engaged in education, achieving and feeling confident that this is the way to achieve."

Diane, who has more than 20 years teaching experience at both primary and secondary level, says the centre also escapes some of the common problems in schools like broken and stolen equipment. And attendance at the centre, which is staffed by two teachers, two part-time teachers and two mentors, is almost 100 per cent from the students who would normally fail to attend school.



Re-engaged in education: Shomari Sinclair mentoring a FreshSteps student

"We have to throw the students out," laughs Diane. "Whatever the weather, we know they are going to turn up. One boy who came to us in Year 9 was bullied at school because he has special needs. He took one look at us and ran out. Now he is here every day, he is standing up straight, has just finished two weeks' work experience and is doing his level two exams.

"They feel they are in a safe, caring environment and they are respected," she added. "The mentoring has a big affect on them. We've never had someone say they want to leave."

www.freshstepseducationcentre.org.uk

Mastering the basics

A MOTHER who has seen first-hand the benefits of a supplementary education system is now running her own centre to support children.

Chrysanthi Sumanasekera leads the Kumon centre held at Christ Church United Reformed Church, in Chase Side, Enfield, twice a week. Chrysanthi, who works in the financial sector, became a Kumon trainer after her two children excelled through the scheme.

She said: "It's a self-learning programme for maths and English, done after school. We say it's a daily study habit, a little and often. Within a year the students are further than expected in school.

"When the child starts the programme we start them on an easy level so they get the foundation of accuracy and speed.

"They then go on to mastering topics in an individualised programme – the accuracy and speed we expect helps them when they go for exams."

Children from the age of four can benefit from the scheme, which is based on individual ability.

Chrysanthi says most children take part in the programme for an average four years. The centre is run by ten members of staff, including two former teachers, and is open to the 80 pupils on Tuesday and Thursdays from 3.30pm to 6pm.



Daily tasks: Chrysanthi with teacher Stella Grech and student Abhinaya Bhanugopan

"Most of the children come after school for 30 minutes minimum," she added. "They are given work to do at home everyday, so there's a commitment from the parents as well."

Chrysanthi's children have been through the Kumon system and her 17-year-old son has been offered a place at Cambridge to read maths.

"The pupils look forward to it, it's not the same as they do in school," she added. For more information call 020 8361 1489.

Are you 13-19?

Do you want to be involved in leadership roles in Enfield?

We have a range of interesting opportunities for you to be a part of. In return we can offer training and career development which is accredited and will assist in future employment.

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- **Youth Leaders**, to develop skills and lead on youth activities and
- **Area Youth Forum** members, who will have a voice in shaping their local communities and ensuring young peoples issues are represented.

We will be in the Conference Room at:

The Civic Centre in Silver Street, Enfield Town
between 1pm and 5pm on **Saturday 25th February.**

You can come in for a chat with Youth Participation Team members and other young people who are already a part of our team, and see what works for you.

Refreshments provided.



For any further queries please email pink.ross@enfield.gov.uk

www.enfield.gov.uk

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Charities trying to make ends

With businesses finding it hard to keep afloat In The Loop has been talking to local charities which are looking at more innovative ways to continue providing their services

PROVIDING a free care lifeline to people struck down with a potentially life-limiting illness might seem like a core thread woven into the fabric of a modern, civilised society.

However, it may surprise many to discover that much of such specialist care provided in our communities is done so by way of the charity sector.

By James Lowe



The North London Hospice, in North Finchley, is one organisation providing such care. With more than 100 staff and an army of volunteers, the hospice provides free end-of-life specialist care to people living in Barnet, Enfield and Haringey.

The care teams based at the Woodside Avenue site offer emotional, spiritual and practical support not only to those people who have been inflicted with illness but to the family, friends and carers around them whose needs can so easily be overlooked. Doctors, nurses, social workers, therapists, bereavement counsellors and volunteers are among the range of staff on hand.

However, just 25 per cent of the hospice's income is provided by an NHS grant. For the remainder of the £6million required to keep the services up and running – both within the hospice building itself and out in the community – the charity must turn to a variety of ever more innovative means to keep afloat.

Fundraising and donations make up 48 per cent of the total coming from a seemingly endless list of activities from a 25-strong mass sky dive, bike rides, Kilimanjaro climbs to sponsored walks including the annual Big Fun Walk, which raises £150,000 alone.

Fundraising campaign manager Chris Breslin provided an insight into how the community has reacted during the harder times of the past three years. He said: "Everyone is struggling at the moment and somehow that makes people focus on the people who are really struggling. I think people are just glad for what they have got and that's why there are more people actually giving right now."

The fact that more people are donating to the hospice may be surprising but it is one which is backed up by chief executive Douglas Bennett. He said: "During these challenging times, the average value of donations has reduced, however the number of donations is increasing, which highlights local communities are supporting local charities. We are grateful for their continued support which enables us to care for terminally ill patients."

And the staff are not leaving it all up to the enthusiasm and generosity of others after a throw-away comment gave new meaning to getting new income streams up-and-running.

Fundraising director Robin Langrishe said: "I was saying to Anita in events, how I've always wanted to do the London Marathon and she said: 'Fantastic! Here's your form and your runner number – you're in.'"

As well as a constant drive to not only maintain the current support – 17 per cent of which comes from legacies and ten per cent deriving from its shops – the charity strives to find different ways to link into the community.

Fundraising manager Judi Guy talked about how the hospice was looking at increasing the number of donors by setting a low threshold for donors in a scheme known as Hospice 100.

She said: "Hospice 100 came about when we were thinking of other ways of spidering into the community. We're asking Scouts, Rotarians, amateur dramatics groups, any group or organisation with community links as well as individuals, business, schools and of course pubs to give just £100. Big businesses almost look embarrassed by the small amount and they say, 'yes, of course we'd love to help you'. It's given us a way of getting into the community and talking to people because we're not frightening them with figures. It's been a really good community builder."

Generous care: Janice Russell and nurse Carolyn Doughty, share a laugh at the North London Hospice

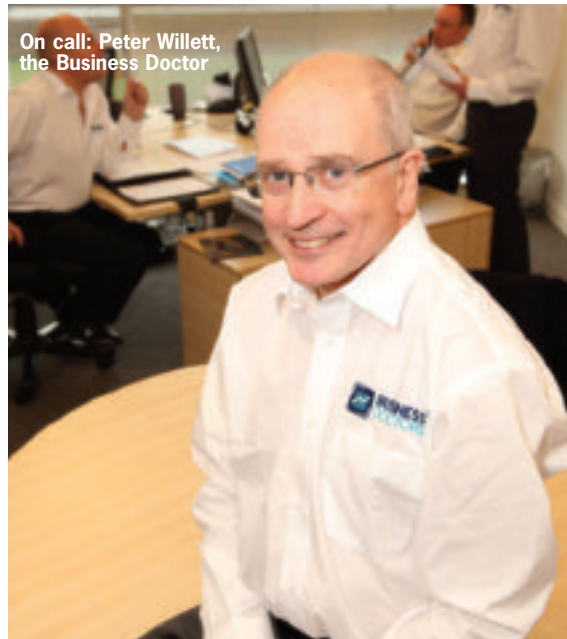
ANNE-MARIE SANDERSON



And it is with the view to building within the community that the charity looks forward to opening its new hospice in Barrowell Green, Winchmore Hill, which will house the whole range of day-care services and surrounding end-of-life care for families.

Robin was understandably upbeat about the impact this would have in raising awareness of the charity's work. He added: "I think with the new Enfield building we will generate more support and more presence in the community. Being able to offer this service to more people will enable them to understand how important it is to have such a service in their community."

North London Hospice's Hospice 100 campaign will coincide with Hospice Week 2012, which runs from February 27 to March 4. To learn more about the charity's work go to www.northlondonhospice.org



On call: Peter Willett, the Business Doctor

Check-up for companies

BUSINESSES can now call the doctor to help resuscitate their profits after a finance expert has set up a branch of Business Doctors, in Enfield.

Peter Willett, who used to work as head of finance for arms-length management organisation Homes For Haringey, has now set up shop to help small and medium-sized businesses to grow.

Through his Business Doctors office in The Business Centre, Gor-Ray House, in Great Cambridge Road, Peter will provide expert, friendly, practical support and advice to companies, from strategies for sales and profit growth to people engagement and help with accessing funding and financial support.

"We aim to help businesses to grow," said Peter. "We specialise in looking at what their strategy is, more than the business plans and the numbers, we go back to basics with what they are trying to achieve and look at how their market has evolved."

"The demographic in Enfield has changed a lot in the last ten years, we look at how we can access the new

market. How they can revitalise their business and get their sale strategy a lot sharper.

The Business Doctors, which are set up nationally and have five local branches covering north London and Hertfordshire, have a record of improving business sales by 20 per cent almost immediately.

"Setting up a Business Doctors office is a way for me to put something back into my local area," he added.

"Business Doctors provides proven recipes for success and I am looking forward to bringing that to companies in the local area."

"I am very passionate about helping the local economy to grow and firmly believe that helping companies implement change by putting in place firm strategies and offering practical, down-to-earth, commonsense advice, from a position of experience is the way to get the local economy back on track."

To find out more about Business Doctors visit www.businessdoctors.co.uk or call Peter on 020 8432 6354.



in the loop

meet during the tough times

WHILE there may be many misconceptions surrounding the part hospices play in our neighbourhoods and the financial support they receive, those that specialise in caring for children are the most commonly misunderstood.

The Noah's Ark Children's Hospice, in Barnet, was set up in December 1999 to cater for the needs of life-limited children and their families. Its first employee and now chief executive Gillian Dodge explained what a children's hospice is and how Noah's Ark is coping with the financial pressures as it strives to keep its services running.

She said: "The focus is on life and living. These families are not victims, these are just ordinary families finding themselves in extraordinary situations. It is not, as many people believe, a place where children come to die."

Noah's Ark helps 350 families in Enfield, Barnet, Haringey, Camden and Islington by providing care and support through family days, special events, parents and sibling groups, as well as family support volunteers, who provide dedicated practical and emotional help in the family's home.

Gillian outlines the challenges facing organisations such as Noah's Ark. She said: "It's tough out there. Many charities have used up their reserves and the number of charities is going down. Many organisations who were getting state support have now lost that. Some of the larger charities have suffered severe cuts. So we're seeing the national charities come closer to the regions and doing activities which compete with local charities."

Although the hospice receives no ongoing government or local authority support, it did win £130,000 for 2010/11, from a £30billion government grant for palliative care across the country.

Gillian said: "That money enabled us to set up our families activity programme. It also helped us to establish a full-time volunteer manager's post. But we then needed to ensure these are sustainable by applying for grants, so we use this money to pilot projects."

With individuals already providing 44 per cent of the £1million required to run the services and a further 38 per cent through trusts and foundations, the hospice is now looking at businesses and retail to boost its coffers.

A huge step in that direction has been the opening of its first shops in High Street, Barnet, which has beefed up the income pot.

Gillian explained the importance of different incomes: "Charities get income in two forms - restricted and unrestricted. Often grants and major donors, quite rightly, want to understand how money is going to be used and what impact it's going to have."

So the money donated is given for a particular piece of work. It's welcome but the balance is making sure you have enough unrestricted funds to ensure you've got the flexibility to work."

As well as opening more shops, the hospice will launch its Big Splash Appeal to raise £10million to build its first hospice building, having secured £625,000 to

purchase land for the site in Bing Road, Chipping Barnet.

She added: "What we want is to be able to offer a complete circle of care. The vast majority of care will be out in the community but at times we know a hospice building is needed. For instance, for a break for carers people can come and stay with us individually or as a family. We will also provide end-of-life care and bereavement suites."

"But Noah's Ark is a charity that helps the family face the future with hope. It's not about dying - it's about how we're going to live."


For more information, visit www.noahsarkhospice.org.uk

National charities are now coming into the regions, competing with locals



Care in the community: Families enjoy days out organised by Noah's Ark and their local partners

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Making business sense of social networks

Some tips on how to avoid making a twit of yourself in a bid to harness online marketing tools

TWITTER, Facebook, Google+, Wordpress and LinkedIn may all seem like scary alien concepts but businesses can harness their marketing power to boost customer service and sales.

Forward-thinking businesses trying to survive in a tough economic climate can stay one step ahead of the competition by making sure their brand is seen wherever their potential clients are.

Using social media provides businesses with an additional touch point with their customers, engaging with people who already like and use their services, developing that relationship, tapping into recommendations and promoting new lines and discounts.

"For businesses, social media comes into play in providing your company and organisation with an additional marketing communication channel," said Michael Cuschieri, from Enfield business Loving Social Media.

"However, any social media activity you undertake should not simply mean you stop doing anything else to promote and market your business. Social media must just be an integral part of your marketing mix."

So, what routes are available for you to use and should you use all of them? The answer is that you need to identify where your potential audience is and ensure you have a strong presence on that channel. The list of new social media channels is continually growing and the key players are: Facebook, Twitter, LinkedIn, YouTube, Google+,

Wordpress, Foursquare, Flickr and new emerging kid on the block is Pinterest.

Michael adds: "The key thing to be aware of is that what's right for one person or company may not necessarily be right for you."

The Loving Social Media team are experts in the field. Michael, of marketing company MC Square, Lucy Hall, of Lucy's Web Design, and Garry Kousoulou of Good Looking Opticians are award-winning local business owners who want to help other local companies survive in 2012 and get the most out of social media.

The team helped promote the We Love Enfield "Love Your High Street" campaign in the run-up to Christmas, through social media, including a flash mob in Enfield Town with a local dance group.

They have been educating local businesses on what is available online through a series of workshops. The next Master Class is being held on February 29 at the David Lloyd Club, in Carterhatch Lane, from 5.30pm.

The Loving Social Media group has teamed up with In The Loop to offer local businesses a discount for the next workshop. Businesses which book before February 28 quoting reference number EA2912 will pay only £47.90 (instead of £93) for the session.

For more information on the workshops visit www.loving-social-media.com



Social media savvy: Lucy Hall, Michael Cuschieri and Garry Kousoulou use the power of the web

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Hi-tech methods for shedding the pounds

IF YOU'RE stuck with love handles or trying to lose weight without losing your bust Hypoxi may be able to help.

The studio in East Barnet Road, which is run by Sylvia Orsi, has been helping men and women get super- star looks for eight years.

There are two machines that are designed to target problem areas only, to help smooth those curves and slim that tummy.

Jessica and Lauren from TV series The Only Way Is Essex tried out the Hypoxi machines last week, which can help you drop a dress size in four weeks.

The machines work on targeted areas like the stomach, thighs, hips and buttocks as well as tackling cellulite through vacuum, compression and gentle exercise. Combining the three therapies ensures stubborn toxins and fats are broken down and circulation is increased. A user dons a suit, similar in appearance to a wet suit, with additional tubes, and exercises on a treadmill.

Your shape determines whether you use the Hypoxi or Vacunaut machine and clients between the sizes of eight to 24 can use them up to the age of 72.

Sylvia said: "You don't have to be fit; it's not cardio, it's quite gentle. It's an alternative to liposuction.

"People come a minimum of three times a week, for 30-minute sessions."

The studio offers a free trial and consultation. A block booking of 12 sessions on the Hypoxi



ANNE-MARIE SANDERSON

Plugged into technology: Hypoxi's machines target specific weight-loss problem areas

machine costs £450, for the Vacunaut it is £500.

The studio is offering 20 per cent off to In The Loop readers who take a copy of this newspaper when making a block booking. For more information call 020 8440 4869.

Spa treat for mum at Champneys

CHAMPNEYS Henlow is a great place to relax and unwind this Mother's Day.

With a blissful spa retreat nearby, there's no better way to treat your mum to a little TLC than with a spa day or stay at Champneys – the perfect place for her to really relax and unwind.

Henlow Grange is a wonderfully traditional English retreat dating back to the 16th century, set in 150 acres of parkland, with an exquisitely cosy and comfortable atmosphere. It really is an idyllic hideaway with luxurious accommodation, perfect for a little restful slumber!

Whether alone or with friends, Champneys offers a warm welcome within gorgeous surrounds, with plenty to keep you active! Join a fitness or relaxation class, meander the beautiful gardens and footpaths – on foot or by bike, or simply take afternoon tea and enjoy the views. Alternatively, settle down in the spa where you can enjoy deeply soothing spa treatments, lose yourself in the Laconium or take a dip in the heated pool.

This Mother's Day Champneys has a fabulous Mother And Daughter two-night spa break offer from just £344.85 per room – it's the perfect way to catch up and enjoy quality time together! All meals are included (breakfast, buffet lunch and a three-course evening meal), plus a Champneys massage and a thalassotherapy (sea-water) pool session.

Alternatively choose from one of many spa days available, with Relax Days starting from as little as £69! For more information visit www.champneys.com



Champneys has teamed up with In The Loop to give one reader the chance to treat their mother (or daughter) with a one-night stay, including one spa treatment each. To enter, answer the following question: When does Henlow Grange date back to?

- A) 15th century?
- B) 16th century?
- C) 17th century?

To enter the competition, telephone your answer – A, B or C – to 0901 307 4263 along with your name, address, telephone number and email.

Alternatively text CHAMP (space) followed by A, B or C, and your name, full address and email to 63333.

Calls cost 51p from a BT landline. Calls from other networks may vary and from mobiles will cost considerably more. Texts cost 50p plus your standard network rates. If you do not wish to receive details on any other products or services, please text EXIT at the end of your message. Lines close on Friday March 9 2012. Entries received after the closing date will not be counted but you may still be charged.



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in the loop

Keep mum sweet with a Mother's Day treat

AS MOTHER'S Day draws near, there's never been a better reason to get the whole family around the kitchen table to enjoy just being together.

Cook book Food For Family & Friends reveals how to celebrate the occasion in style – and mum won't have to lift a finger

TV chef Jean-Christophe Novelli is a man who knows the importance of keeping mum sweet.

"My mother lives in France, so if I have the opportunity to be with my her on Mother's Day, I like to cook something very special to mark the occasion," says the French chef, who's appeared on Hell's Kitchen. "One dish I know she loves is my Pan-Fried Paprika Chili Salmon."

Novelli's piece de resistance for Mother's Day is a batch of cookies to end the meal.

"All mum's like something sweet on Mother's Day, which is why I recommend a great recipe like Chocolate, Nut And Raisin Cookies. It's the perfect finish to any meal."

Try these family-friendly recipes created for Flora by chef Novelli – and from the cookbook Recipe from Food For Family And Friends (Ryland, Peters & Small)

Chocolate Nut And Raisin cookies

(Makes 30-36 servings)

75g Flora Cuisine
55g caster sugar
100g acacia honey
1 egg, medium
1tsp vanilla essence
1tsp coffee essence
100g raisins, chopped
150g self-raising flour, sieved
25g cocoa powder, sieved
25g chopped plain chocolate
50g flaked almonds
1/2tsp bicarbonate of soda



PA PHOTO/HANDOUT

1. Place all the ingredients except the flaked almonds into a bowl and beat together with a wooden spoon until well mixed.
2. Grease two baking sheets with Flora Cuisine and place teaspoons of the mixture on to them. Evenly sprinkle over flaked almonds.
4. Bake on the middle shelf of a preheated hot oven at 190C/Gas Mark 5 for eight to ten minutes.
5. Cool on a wire tray.

Win tickets to see Sweeney Todd musical live in London's West End

IN The Loop has five pairs of tickets to see Sweeney Todd – The Demon Barber of Fleet Street as it hits the West End.

Starring Michael Ball and Imelda Staunton, this "wickedly funny" production of Stephen Sondheim's "magnificent masterpiece" is set to thrill audiences at the Adelphi Theatre, in The Strand, from March 10 through to September 22.

Laced with dark humour, dazzling wit and an infectious score, it tells of Sweeney Todd's return to London after years of false imprisonment, and his savage quest for justice and retribution. Aided and abetted by pie shop owner, Mrs Lovett, he sets out to avenge the wrongs done to him and his family many years before.

Directed by Jonathan Kent and designed by Anthony Ward, Sweeney Todd comes to London for a strictly limited season. For more information visit www.SweeneyToddWestEnd.com or call the box office on 0844 811 0053.

To be in with a chance of winning one of five pairs of tickets, answer the following question: Which release by Michael Ball reached number two in the UK singles chart?

- A) Love Changes Everything?
- B) Loves Changes Nothing?
- C) Love Changes Its Mind?

To enter the competition, telephone your answer – A, B or C – to 0901 307



4264 along with your name, address, telephone number and email address.

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Terms and conditions

- ☐ Tickets valid Mon – Thurs performances from 12 March-19 March 2012
- ☐ Tickets to be collected on night of performance at the box office under winner's name
- ☐ Travel and accommodation not included
- ☐ Additional expenses are the responsibility of the prize winner
- ☐ Subject to availability
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Jackie 020 8366 0731

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Chaseside,
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Jess 07581 876710

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7.30pm
Richie 07545 778353

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Gyll 020 8351 4120

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With another February snowfall and a winter chill in the air, you might think that the housing market is having its usual spell of dormancy, but it couldn't be further from the truth. Almost from the moment we put away the tinsel and recycled our Christmas trees, the phones just haven't stopped ringing! In fact, 2012 has been the busiest start to a New Year we have enjoyed for years. Traditionally the housing market wakes up slowly after Christmas and doesn't really warm up until the daffodils are well and truly in bloom, but this year we are definitely enjoying an early Spring; and with all the economic gloom and doom we read every day that has to be a good sign for Enfield.

At this moment we have a healthy demand for all types of property so if you are thinking of selling your home this year don't wait for the daffodils, come in and see us today and we will offer you the best advice and most professional service that over 30 years of selling properties in Enfield brings. From accurate realistic valuations to knowledgeable expert guidance, we are here to help - which is why so many clients come back to us time and time again. And if you're just starting to look for your new home, give us a ring and register today and you could be enjoying the summer sunshine in your new garden.

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£645,000



WINCHMORE HILL

Attractive semi-detached corner property situated in a quiet sought after road. Downstairs shower room. Reception Room. Through Lounge. L-Shaped Kitchen/Breakfast Room. Four bedrooms. Bathroom. Garage. Own Driveway.
£674,995



WINCHMORE HILL

Semi-detached house in a quiet cul-de-sac within walking distance of both Winchmore Hill and Grange Park BR stations. Reception hall. Through lounge. Cloakroom. Kitchen/breakfast room. 4 Bedrooms. En-suite. Bathroom/wc. Garden approx. 90'. Garage own drive.
£675,000



WINCHMORE HILL

Attractive semi-detached house situated in a sought after road within walking distance of Winchmore Hill Village Green. Reception Hallway. 2 Receptions. Kitchen/Breakfast room. 4 Bedrooms. Bathroom. Garden approx. 80'. Garage at side.
£679,995



WINCHMORE HILL

We have pleasure in offering for sale this exceptionally spacious semi detached property situated in a convenient location. 3 reception rooms. Kitchen/breakfast room. Conservatory. 4 Bedrooms. Bathroom. Approx 65' rear garden.
£695,000



GRANGE PARK

Spacious double fronted extended semi detached property in this popular road. 4 Receptions. Cloakroom. Kitchen/Breakfast room. utility room, 4 bedrooms, ensuite to master, family bathroom, garden, off street parking for several vehicles.
£699,995



GRANGE PARK

Extremely spacious semi detached house situated in a sought after road in the heart of Grange Park. The property has been substantially upgraded by the present owners. 2 Reception Rooms. Family Room. Kitchen/Breakfast Room. Utility Room. 5 Bedrooms. Study. Bathroom. 2 En-suite Shower Rooms. Garage. Garden approximately 100'.
£699,995



WINCHMORE HILL

Mortemore Mackay have pleasure in offering for sale this semi detached Edwardian property situated in this sought after location in close proximity to Winchmore Hill Green. 4 Bedrooms. Kitchen/breakfast Room. Downstairs cloakroom. Kitchen. Garden.
£720,000



WINCHMORE HILL

We have pleasure in offering for sale this attractive semi detached house situated in a convenient location within walking distance of shops, buses and Grange Park B.R. Station. 5 bedrooms. 2 Reception rooms. Kitchen/Breakfast room. Study. L-shaped kitchen/breakfast room. Bathroom. Approx 100' south facing garden.
£745,000



WINCHMORE HILL

Period terraced house within walking distance of Winchmore Hill Green. Reception hallway. 2 Receptions. Kitchen. Utility. Basement. Cloakroom. 3 Bedrooms. Bathroom. Garage.
£735,000



WINCHMORE HILL

We have pleasure in offering for sale this impressive detached property situated in this private gated development. 4 Bedrooms, en-suite to master, Bathroom, 3 Receptions, Kitchen, Utility Area, Double garage.
£765,000



WINCHMORE HILL

Edwardian double fronted semi detached property with many original features situated in this popular location. Reception hallway. Inner hallway. Cellar. Three reception rooms. Kitchen/Breakfast room. Utility room. Cloakroom. Conservatory. Bathroom. Separate WC. 1 en-suite. Approx 85' garden. Off street parking.
£775,000



WINCHMORE HILL

Detached property in a convenient location within walking distance of Winchmore Hill Green. Reception hall. Cloakroom. Utility (formerly part of garage). 2 Receptions. Conservatory. Kitchen. 5 Bedrooms. 3 Bathrooms. Dressing area. Rear garden. Off street parking.
£795,000



GRANGE PARK

We have pleasure in offering for sale this double fronted semi-detached house. The property offers extremely spacious well planned accommodation. Downstairs cloakroom. 2 Reception rooms. Kitchen/Breakfast room. Bathroom. En-suite. Separate wc. 7 Bedrooms. Approx. 85' rear garden. Double garage.
£799,995



WINCHMORE HILL

Attractive detached property situated in the slip road on Church Hill. L-shaped hallway. Downstairs shower room. 2 reception rooms. Conservatory. Kitchen/Breakfast room. 4 bedrooms. Bathroom. Approx 80' garden. Garage.
£799,995



WINCHMORE HILL

Detached house in a convenient location within walking distance of Winchmore Hill Green. Reception hallway. Cloakroom. 2 Receptions. Kitchen/breakfast room. 4 Bedrooms. En-suite. Shower room separate wc. Garden approx. 75'. Garage own drive.
£825,000



WINCHMORE HILL

Individually designed detached property situated in a convenient location. Reception hallway. Downstairs cloakroom. 2 reception rooms. Study. Kitchen. Utility room. 4 bedrooms. En-suite. Bathroom. Rear garden. Garage. Off street parking for several vehicles.
£849,995

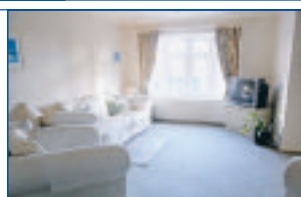


Barnfields



Shirley Road, EN2
£245,000

Split level two bedroom (both doubles) conversion flat occupying first and second floors of this elegant Victorian property in a quiet cul-de-sac off Windmill Hill close to Enfield Chase rail station and Enfield Town. 23' x 14'9" lounge, 16'6" kitchen, modern bathroom, gas central heating, upvc double glazing, long lease and much more. Sole Agents.



St Faiths Close, EN2

£299,950

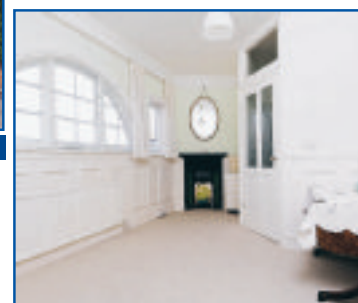
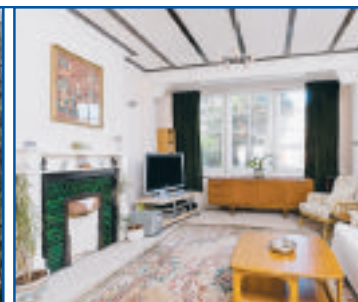
Rarely available Georgian-style terraced house in cul-de-sac location within walking distance of Gordon Hill station. Three bedrooms, through lounge, fitted kitchen, conservatory, garage en bloc, gas central heating, potentially chain free. Sole Agents.



Old Park Ridings, N21

£775,000

Beautiful Edwardian five bedroom detached family house situated in this most desirable of locations close to Grange Park rail station, local shopping parades and good schools. Three spacious reception rooms, large kitchen, good sized rear garden, off road parking and much more. Joint Agents.



Robson Close, EN2

£489,950

A superb detached property in a quiet cul-de-sac within walking distance of Enfield Town. Beautiful lounge, magnificent kitchen/breakfast room, downstairs w.c., luxury bathroom with Jacuzzi bath and steam shower, O/S/P, 65' garden, 30' heated swimming pool. Sole Agents.



Birkbeck Road, EN2
£350,000

Newly built end of terrace property built to exacting standards just off Lancaster Road. Three bedrooms, luxury fitted kitchen/diner, downstairs cloakroom, ensuite to master bedroom, west facing garden, off street parking to front, must be seen. Sole Agents.



Radnor Gardens, EN1
£325,000

Beautifully appointed spacious extended semi detached three bedroom family house in a quiet residential cul-de-sac just off Baker Street easy access of Enfield Town. Off street parking, garage space, large through lounge, kitchen/breakfast room, utility room and much more.



Wellington Road, Bush Hill Park, EN1
£940,000

Delightful detached character house situated in this popular conservation area just minutes from Bush Hill Park rail station. Two spacious formal reception rooms, 22ft kitchen/breakfast room, tv room, garage/gymnasium, 5 spacious bedrooms, three bathrooms, garage with own drive, large west facing rear garden and much more. Chain free. Sole Agents.



Waverley Road, EN2

£430,000

Elegant Georgian style four bedroom townhouse in this most sought after of turnings close to Enfield Golf Course walking distance of Enfield Town and Enfield Chase rail station beautifully presented throughout. Ensuite to master bedroom, own front driveway, integral garage, large kitchen diner, spacious lounge, no chain. Sole Agents.



Chase Side, EN2

£399,000

Charming spacious semi detached three bedroom house overlooking picturesque Chase Green short walk Enfield Town and Enfield Chase rail station. Upvc double glazing, spacious lounge, good sized dining room, large kitchen/breakfast room, well presented throughout. Sole Agents.



Woodberry Avenue, N21

£599,950

Charming four bedroom Edwardian character residence close to Winchmore Hill British Rail station. 2 large reception rooms, kitchen/breakfast room, guest w.c., 2 bathrooms, off street parking, attractive rear garden, MUST BE VIEWED! Chain Free.



Burnham Close, EN1

£360,000

Spacious four bedroom semi-detached family house in this quiet cul-de-sac close to Forty Hall country park. Two bathrooms, three reception areas, good size kitchen, garage with off road parking. More details on request. Sole Agents.



Perry Mead, EN2
£268,000

Bright and spacious tunnel terraced three bedroom family house in a quiet location just off Holtwhites Hill close to Gordon Hill rail station and within walking distance of Enfield Town. UPVC double glazing, gas central heating, spacious lounge, good sized kitchen, utility room, 50' garden, off-street parking for two cars. Sole Agents.



Old Park View, EN2
£500,000

Delightful detached residence in this popular location adjacent to and with views over Enfield Golf Course. Three good size bedrooms to first floor, spacious through lounge, good size west facing rear garden with parking and basement/garage. Sole agents. Chain Free.



Camberley Avenue, EN1
£230,000

Spacious ground floor purpose built maisonette in a quiet location close to Enfield Town multiple shopping centre. Features include two bedrooms, fitted kitchen, lounge, conservatory, modern bathroom and private rear garden, off-street parking. Chain Free.



Langton Court, EN2
£329,995

Large ground floor two double bedroom apartment in this sort after block on Enfield's Ridgeway with easy access to Town centre and rail station. Spacious lounge, en-suite to master bedroom, direct access to patio and gardens, lift to all floors.



Barnfields



Old Park View, EN2 £365,000

Beautifully appointed modern three bedroom (all doubles) house in this most sought after turning just off Slades Hill close to Enfield Golf Course walking distance Enfield Town. Integral garage own drive, downstairs cloakroom/wc, spacious attractive lounge, good sized fitted kitchen, no chain. Sole Agents.



Chase Green Avenue, EN2 £539,995

Spacious four bedroom 1920's semi-detached family house within close proximity to Enfield Chase rail station and local shops. Garage own drive, 70' rear garden, large kitchen/breakfast room and much more. Chain Free. Sole Agents.



Gladbeck Way, EN2 £470,000

Charming four bedroom detached family house situated in this quiet residential cul-de-sac just minutes from Enfield Chase rail station and Enfield Town shopping centre. Spacious lounge, large kitchen/diner, secluded south-west facing garden, garage with own drive, luxury ensuite to master bedroom and more. Chain Free. Sole Agents.



Ridge Avenue, N21 £460,000

Spacious and extended late 1920's semi-detached family house situated in this popular residential location in Winchmore Hill close to local shops but within easy access of Winchmore Hill and Bush Hill Park rail stations. Four reception rooms, 75' south facing garden, own drive. Chain Free.

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LARGE TWO BEDROOM FIRST FLOOR CONVERSION. 17FT LOUNGE, OWN REAR GARDEN, NEW LEASE. PLANING FOR ADDITIONAL CONVERSION. CHAIN FREE. O.I.R.O £230,000 LEASEHOLD.



Carterhatch Lane, EN1 £300,000

Three bed 1930's family house requiring modernisation close to Forty Hall country park. Spacious through lounge, garage own drive, good sized rear garden, chain free. Sole Agents.



Chase Ridings, EN2 £599,950

Within close proximity of Highlands, Merryhills and Grange Park school this four bedroom family house in this popular turning. Large 36ft through lounge, en-suite to master bedroom, 100ft rear garden, off road parking for several cars. Chain Free.



Queen Annes Grove, EN1 £575,000

Elegant substantial semi detached Edwardian family house on this large corner plot. Four good sized bedrooms, three reception rooms, beautifully fitted kitchen, 80ft partially walled rear garden, large detached garage, many character features. Sole Agents.



Postern Green, EN2 £635,000

Substantial modern detached six bedroom house in a private cul-de-sac just off Slades Hill within walking distance of Enfield Town. Two ensuite shower rooms, modern bathroom, cloakroom/w.c., superb kitchen/diner, large attractive lounge, study/office, conservatory, south facing garden, garage, own drive. Sole Agents.



Morley Hill, EN2

Three double bedroom family house renovated throughout just three years ago. Spacious kitchen diner, first floor bathroom and downstairs shower room/w.c., west facing rear garden, off road parking and more. Chain Free.



Offers in excess of: £300,000



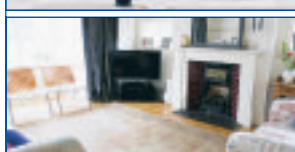
Lancaster Road, EN2 £295,000

Beautifully remodelled mid terrace late Victorian three bedroom house. Upvc double glazing, three good sized bedrooms, lounge, dining room, large kitchen/breakfast room, extended to rear, south facing garden, and much more, no chain. Sole Agents.



Queen Annes Gardens, EN1 £550,000

Situated in one of Enfield's Conservation Areas and within catchment of Raglan Primary School, this spacious five bedroom semi-detached family house offers an abundance of space with features that include three large reception rooms, modern kitchen, 70' rear garden, possible off-road parking. Sole Agents.



Cecil Road, EN2

£700,000

Splendid five double bedroom character house backing on to and enjoying southerly views over Enfield town park. Three large reception rooms, beautifully appointed 19ft kitchen, en-suite to master bedroom, luxury first floor bathroom, off road parking for several cars, approximately 140ft of south facing rear garden, and more. Sole Agents.



Goat Lane, EN1 £235,000

Unique period semi detached cottage close to Forty Hall Country Park. Modern fitted kitchen, spacious through lounge, master bedroom, large 1st floor bathroom/dressing room, roof terrace, generous garage. Sole Agents. Chain Free.



Monks Close, EN2 £385,000

Attractive spacious semi detached bungalow in this most sought after location short walk of Enfield Town and rail stations. Two bedrooms plus bonus loft room, large rear conservatory, 110ft garden, off street parking and much more. Sole Agents.



Queen Annes Gardens, EN1 £975,000

Substantial Victorian character residence in a most sought after tree lined conservation turning. Five large bedrooms, ensuite to master bedroom, garage with own drive, spacious lounge, elegant dining room, large kitchen/breakfast room, utility room, 100ft garden and much more. Sole Agents.



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sales

Why instruct Us?



Sales

- We use professionally produced photographs, floorplans and animated slideshow to ensure that buyers see the potential in your property.
- We provide a FREE EPC on every property we sell on a sole agency instruction
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Lettings

- To guarantee you an honest and professional service we are accredited members of the RICS, ARLA and The Property Ombudsman scheme.
- To ensure that your let runs smoothly our dedicated and highly experienced management team are able to offer you the very best package to suit your needs.
- All viewings of your property will be accompanied to safeguard your security and allow us to gain immediate feedback.

Property tips

Create a welcoming entrance with an attractive front garden to give that all-important first impression. Add some large plant pots with healthy foliage and remove any dead shrubbery from the garden. Hide from view dustbins, bikes, garden tools and hoses.

For more property related articles see: www.peterbarry.co.uk/blog.



£525,000

Grange Park, N21

WITHIN 2% of ASKING PRICE
ACHIEVED FIRST
WEEK of MARKETING



£379,950

BUNGALOW, Bush Hill Park, EN1

2 double bedroom bungalow, large kitchen/diner, off street parking & garage to side, conservatory, south facing garden, quiet residential turning a short walk to Bush Hill Park BR station. Offered chain free.



£350,000

Enfield, EN1

Located on the ever popular Willow Estate, spacious 3 bed semi with potential to extend (STPP). 2 recs, modern kitchen, family bathroom, garage to side, sunny garden. Catchment of popular local schools.



£329,950

Winchmore Hill, N21

Well presented 2 bedroom end of terraced cottage, bright lounge, east facing garden, spacious fitted kitchen diner, contemporary family bathroom. Walking distance to Winchmore Hill BR station and The Green.



£265,000

Enfield, EN2

This smart mid terrace home boasts a 26ft lounge with patio doors allowing direct access to the attractive low maintenance garden. Features include three bedrooms, fitted kitchen and a family bathroom.



£210,000

Winchmore Hill, N21

CHAIN FREE BUYER
SECURED
WITHIN 2 WEEKS

lettings



£850 pcm

Winchmore Hill, N21

Spacious 1 bedroom first floor conversion available from Mid April. Modern fitted kitchen and bathroom. Within a 7 minute walk of Winchmore Hill BR station, furnished with roadside parking.



£900 pcm

Winchmore Hill, N21

Available immediately is this 1 bedroom first floor conversion flat situated within the heart of Winchmore Hill. 10 minutes walk to the BR station and The Green. New wooden flooring, freshly painted, fitted kitchen and bathroom.



£950 pcm

Enfield, EN1

This 2 bedroom first floor apartment available immediately. Spacious lounge, new fitted kitchen and bathroom with shower. Unfurnished and within a 5 minute walk of Bush Hill Park BR station.



£1,095 pcm

Palmers Green, N13

Available now is this stunning 2 bedroom apartment within an excellent location in Palmers Green. 10 mins to the High Street and BR station, spacious lounge, bathroom and modern fitted kitchen. Furnished.



£1,350 pcm

Enfield, EN2

Offered immediately is this 2 double bedroom ground floor garden maisonette within a gated development and only a 5 minute walk from Gordon Hill station. Unfurnished and a high spec throughout.



£1,450 pcm

Enfield, EN2

Offered from end of March, Peter Barry have this stunning show flat containing 2 double bedrooms, 2 en-suite baths, kitchen/diner, communal terrace, gated parking & 2 mins to Enfield Chase stn. Unfurnished.

Sales • Lettings • Property Management • Surveys

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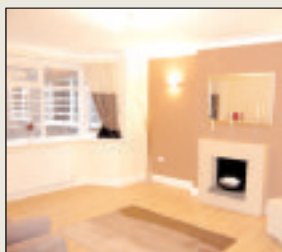


HAVILANDS

estab. 1977

**Winchmore Hill**

3 bedroom semi
Cul-de-sac location
Downstairs cloakroom

£375,000**Winchmore Hill**

2 bedroom g/f apartment
Newly refurbished throughout
Garage en bloc.

£239,950**Winchmore Hill**

Attractive 1 bedroom apartment
Close to Winchmore Hill Green
En-suite to master bedroom

£499,995**Bush Hill Park**

Stunning 3 bedroom penthouse
Private roof terrace.
Modern guest bathroom

£328,000**Winchmore Hill Green**

2 bedroom house
situated in a gated development
2 bathrooms and d/s cloaks

£425,000**Winchmore Hill**

5 bedroom Victorian home
3 reception rooms and conservatory
Secluded garden and detached garage

£875,000**Winchmore Hill**

6 bed Edwardian family home.
2 reception rooms, conservatory,
Garden in excess of 100' and OSP

£695,000**Hadley Wood**

2 bedroom detached bungalow
Potential for extensive extension STPP
West facing award winning garden.

£850,000

Chain Free

**Off Broad Walk**

4 bedroom semi detached
downstairs cloakroom and utility room.
Extended kitchen, En-suite to master

£775,000**Winchmore Hill**

5 bedroom detached
25 ft kitchen, 2 en suites
Outdoor swimming pool. OSP

£895,000**Winchmore Hill**

3 bedroom semi
Garage and OSP
Chain Free

£585,000**Winchmore Hill**

3 bedroom semi detached
32' main reception and d/s cloaks
Garage to side and OSP

£650,000**Palmers Green**

7 bedroom double fronted Edwardian
2 bathrooms and separate cloakroom.
4 reception rooms.

£695,000

Chain Free



Homes & Property.co.uk



Havilands are members of The Ombudsman for Estate Agents

Visit us at www.havilands.biz or at 30 The Green, Winchmore Hill, London N21 1AY



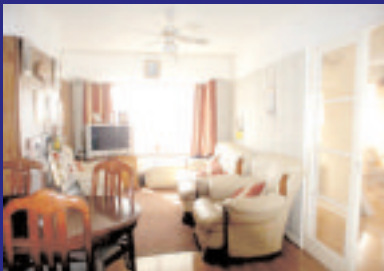
*We value people **as well as property***

TOTTENHAM HALE, N15 £160,000



Modern 2nd Floor 1 double bed apartment built in 2007, situated close to Tube station and River Lee, benefits from gas c.h., double glazed windows, modern fitted kitchen and bathroom suite, spacious lounge with private balcony, long lease, **VERY WELL MAINTAINED.**

TOTTENHAM, N17 £170,000



Ground floor 2 bed garden maisonette, situated close to Tottenham High Road, benefits from gas c.h., double glazed windows, 20' lounge, 2 good size beds, fitted kitchen, bath/WC, own entrance & rear garden, long lease, **CHAIN FREE SALE.**

TOTTENHAM, N17 £211,995



Just off Philip Lane this ground floor converted 2 double bed garden flat within a short walk of Tube station, benefits from gas c.h., lounge, fitted kitchen, modern bath/WC, nice 30' garden, **IDEAL FIRST TIME BUY.**

SEVEN SISTERS, N15

£274,950



Recently modernised Victorian 2 bed terraced home, situated within a short walk from Tube station, benefits from gas c.h., recently fitted kitchen, Utility Room and Conservatory, recently installed f.f. bath/WC, 2 double beds, attractive rear garden, **INTERNAL VIEWING STRONGLY ADVISED.**

SEVEN SISTERS, N15 £249,950



Victorian 2 double bed terraced cottage style house, situated within a short walk from Seven Sisters Tube station, benefits from gas c.h., 2 receptions, g.f. bath & WC, kitchenette, **OPPORTUNITY TO MAKE IMPROVEMENTS TO OWN STYLE AND TASTE.**

KITCHENER ROAD, N17 £1,100 PCM



Nice 2 double bed flat with own garden Walking distance from Tube station **AVAILABLE NOW**

NORTHUMBERLAND PARK, N17 £1,300 PCM



Excellent 1st Floor 3 double bed flat Newly refurbished to a high standard New Kitchen & bath, new wood floors **AVAILABLE NOW**



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BRUCE GROVE AREA, N17 £750 PCM



Ground Floor 1 bed garden flat Within short Walk from Train station **AVAILABLE NOW**

STEELE ROAD, N17 £950 PCM



Ground Floor 2 double bed garden flat Gas c.h, fitted kitchen, small lounge **AVAILABLE NOW**

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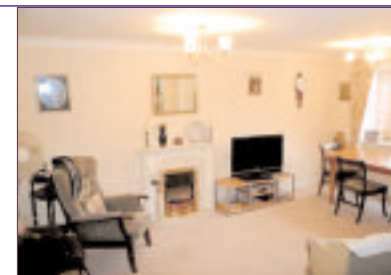
RESIDENTIAL SALES

Enfield, EN2

£499,995



Attractive, semi detached home, substantially extended to provide spacious and well maintained living accommodation, ideally located walking distance from Enfield Town & main line station. Benefits include 2 good sized reception rooms, large fitted kitchen, downstairs cloakroom, family bath/wc, en-suite shower/wc, double glazing, gas central heating, west facing garden & off street parking.



Winchmore Hill, N21

£208,000

1 double bed retirement flat situated on the first floor of this prestigious development; good sized living accommodation includes fitted kitchen, bathroom/wc, spacious lounge; use of communal lounge, lift, guest suite, ample parking, communal gardens



Enfield, EN1

£245,000

Stunning 2 bed extended ground floor conversion with garden, ideally situated walking distance of Enfield Town & main line station; accommodation includes a spacious lounge, recently fitted kitchen-diner, bathroom/wc, Quick Step laminate flooring throughout.



Enfield, EN2

£299,995

3 bed Victorian mid terrace house situated on a popular road within a short walk of shopping facilities and main line station; this lovely house offers 2 reception rooms, fitted kitchen, upstairs bathroom, double glazing, gas central heating, beautifully maintained rear garden.



Enfield, EN2

£329,995

3 bed end of terrace house situated in this prime location just off Chase Side; Benefits include 2 spacious reception rooms, kitchen, bathroom/wc, south facing garden, side pedestrian access and front off street parking; double glazing & gas central heating.



Enfield, EN1

£229,995

Within easy reach of Enfield Town shopping centre and main line station, a 2 bedroom mid terrace house, requiring some modernisation. This property would make an ideal investment or first time buy and includes 2 bedrooms, upstairs bathroom/wc, west facing garden.



The Ridgeway, EN2

£1,000 PCM

2 double beds, modern bathroom/wc, fitted kitchen diner, communal parking, easy access to Enfield Town & main line station; Available now.



Drake Street, EN2

£995 PCM

2 double bed ground floor maisonette with access to own garden; spacious lounge, modern bathroom/wc, fitted kitchen; easy reach of shops & station.

151 Lancaster Road, EN2 0JN

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RESIDENTIAL SALES

Enfield, EN2

£999,999



Grade II Listed detached house set within approximately one acre of grounds in a semi rural location, yet within easy reach of Enfield Town, main line stations, recreational facilities and motorways. Schools for all ages are also close by. This superb residence incorporates a self contained annexe and a detached office and offers 4 bedrooms, large kitchen breakfast room, spacious lounge, downstairs cloakroom, games room/day care centre, ample parking.



Enfield, EN2

£259,995

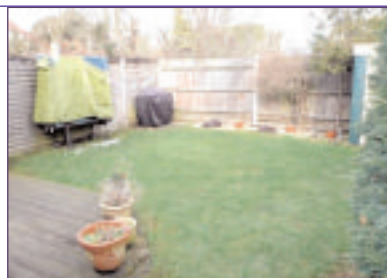
2 double bedroom Victorian terraced cottage in a pleasant turning just off Lancaster Road; close to shops & main line station; this spacious property offers a through lounge, modern fitted kitchen, large downstairs bathroom, some original features & easy maintenance garden.



Enfield, EN1

£269,995

First floor purpose built apartment set in this small development within a most desirable location; 2 double bedrooms, 20ft. lounge, recently fitted kitchen, modern fitted bathroom with separate WC, garage en-bloc & Share of Freehold complete this well presented flat.



Enfield, EN2

£400,000

Modern extended semi detached family home in cul-de-sac location, a few minutes walk of Gordon Hill station & local shops. This super property benefits from 4 bedrooms, 2 reception rooms, conservatory, family bath/WC, En-suite, integral garage own drive.



Enfield, EN2

£289,995

Beautifully presented 4 bedroom house, conveniently located for Gordon Hill station & local shopping amenities; Features include bright lounge, fitted kitchen, utility room, family bathroom/wc, en-suite shower room/wc, good sized rear garden & front off street parking.



Enfield, EN1

£345,000

Extended semi with garage & own drive, in a good school catchment offering 3 bedrooms and is located 0.61 miles from Enfield Town main line station & shopping centre. Features include through lounge, kitchen-diner, bathroom/wc, south facing garden, double glazing.



Enfield, EN2

£269,995

Victorian mid terrace home situated in a quiet road close to local shops & within walking distance of Gordon Hill station; the house offers spacious through lounge, fitted kitchen, two bedrooms, upstairs bathroom/wc double glazing, gas central heating & west facing garden.

181 Chase Side, Enfield, Middlesex EN2 0PT

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6 CHURCH STREET, EDMONTON
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Gretton Road, Tottenham
£239,995

- Three Bedroom House
- End Terrace
- Cul-De-Sac Location
- Ground Floor W.C
- First Floor Bathroom
- Front & Rear Gardens
- Kitchen / Diner



Antill Road, Tottenham
£349,995

- Three Bedroom End Of Terrace House
- Through Lounge
- Kitchen Diner
- Cloakroom
- Ground Floor WC
- First Floor Bathroom

NOTICE OF OFFER

Property Address: **10 Verity Court 1a**
Charlton Road Edmonton London N9 8UL
By order of the mortgagees in possession, we would advise that an offer has been made for the above mentioned property in the sum of **£105,000**

Any persons wishing to increase on this offer should notify the agents of their best offer prior to exchange of contracts.

Agents Address: **Kings Group 6 Church Street Edmonton London N9 9DX**
Agents Telephone Number: **020 8350 0100**



Edmonton N9
£194,995

- Two Bedrooms
- Mid-Terraced House
- Through-Lounge
- First Floor Bathroom/wc
- Off Street Parking



Scotswood Walk, Tottenham
£229,995

- Three Bedroom House
- Fitted Kitchen
- Ground Floor W.C
- First Floor Bathroom
- Chain Free
- Double Glazed



White Hart Lane, Tottenham
£135,000

- Victorian Conversion Flat
- One Bedroom
- Three Piece Bathroom Suite
- Fitted Kitchen
- Shared Garden
- CHAIN FREE



Edmonton N9
£229,995

- Three Bedroom House
- 1930's Build Mid-Terraced
- Nightingale Estate
- Off Street Parking
- Through-Lounge



Edmonton N18
£244,995

- Three Bedroom House
- Mid-Terraced Tunnel-Linked
- Conservatory
- Ground Floor Bathroom/wc
- First Floor Shower Room/WC



NOTICE OF OFFER

Property address : **Campbell Road, LONDON, N17 0BF**
By order of the mortgagees in possession, we would advise that an offer has been made for the above property in the sum of **£232,500**
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Sturrock Close, South Tottenham
£164,950

- Two Bedroom Flat
- Ground Floor
- Fitted Kitchen
- Three Piece Bathroom Suite
- Reception Room
- Chain Free
- Balcony



Edmonton N18
£249,995

- Four Bedroom House
- Semi-Detached
- 80'0 x 30'0 (approx) Gardens
- Side Garage
- Ground Floor Shower Room/WC



Edmonton N9
£274,995

- Three Bedroom House
- Semi-Detached 1930's Build
- Extended Kitchen
- Through-Lounge
- Double Glazed

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020-8802 5800



Balmoral House
£229,995

- Two Bedroom Flat
- Ground Floor
- Double Glazed
- Separate W/c
- Gas Central Heating (untested)



Blackstock Road
£360,000

- TWO Bedroom Flat
- Duplex Conversion
- ROOF TERRACE
- Arranged Over Two Floors
- Kitchen/Diner
- 125 Year Lease
- CHAIN FREE



Park Avenue
£499,950

- Two Bedroom
- Ground Floor
- GARDEN
- Cellar
- Gas Central Heating (untested)
- Call For Further Details 020 8802 5800



Park Avenue
£950,000

- Five Bedroom House
- Two Bathrooms
- Three Reception Rooms
- Conservatory
- Roof Terrace
- Off Street Parking
- Call For Further Details 020 8802 5800

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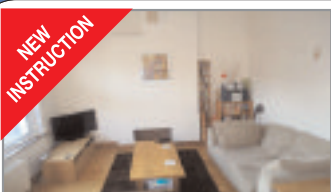
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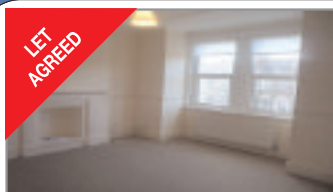
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NEW INSTRUCTION
Foyle Road, Tottenham

£850 pcm

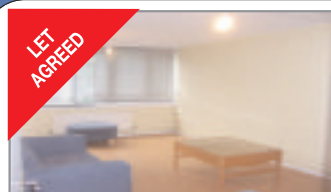
- * One Bedroom Flat
- * Part-Furnished
- * Minutes walk from Northumberland Park Station
- * GCH & Double Glazing
- * Available Now



LET AGREED
Shelbourne Road, Tottenham

£1100 pcm

- * Stunning Two Bedroom First Floor Flat
- * Newly Refurbished
- * Minutes From Northumberland Park Station
- * Part-Furnished
- * Let Agreed



LET AGREED
Howefield Place, Tottenham

£1100 pcm

- * Two Bedroom First Floor Flat
- * Minutes walk from Bruce Grove Station
- * GCH & Double Glazing
- * Laminated Flooring
- * Let Agreed



NEW INSTRUCTION
Baldewyn Court, Tottenham

£1150 pcm

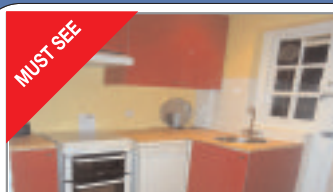
- * Two Bedroom Ground Floor Flat
- * GCH
- * Part-Furnished
- * Walking Distance to White Hart Lane Station
- * Let Agreed



NEW INSTRUCTION
The Avenue, Tottenham

£1150 pcm

- * Two Bedroom Flat
- * Minutes from Bruce Grove Station
- * Walking distance to local amenities
- * Fully-Furnished
- * Available Now



MUST SEE
Henningham Road, Tottenham

£1200 pcm

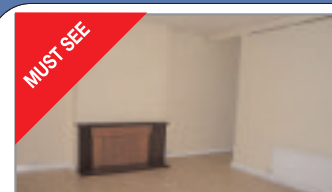
- * Stunning Two Bedroom House
- * GCH
- * Great access to the A10
- * Part-Furnished
- * Available Now



NEW INSTRUCTION
James Place, Tottenham

£1350 pcm

- * Three Bed Maisonette
- * Two Double Rooms
- * GCH & Double Glazing
- * Walking Distance to White Hart Lane Station
- * Available Now



MUST SEE
Springfield Road, Tottenham

£1450 pcm

- * Four Bedroom House
- * GCH & Double Glazing
- * Fully-Furnished
- * Walking Distance to Tottenham Hale Tube/Rail Station
- * Available Now

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For Sale Sign Analysis confirms that this advert is a fair and accurate representation of the information found between the dates shown. The quantity of For Sale and Sold signs does not necessarily equate to the number of completions.

NEW INSTRUCTION

Tiverton House

- * One Bedroom
- * Eleventh Floor Flat
- * Lift Access
- * Chain Free
- * In Our Opinion An Ideal Investment

£105,000

NEW INSTRUCTION

Ordnance Road

- * Three Bedroom
- * Ground Floor Flat
- * Purpose Built
- * Link to B/R
- * Communal Grounds, Garden and Parking

£164,995

NEW INSTRUCTION

Amethyst Court

- * Two Bedroom
- * First Floor Flat
- * En-Suite to Master Bedroom
- * Fitted Kitchen
- * Chain Free

£179,995

NEW INSTRUCTION

Hertford Road

- * Three Bedroom
- * Mid-Terraced, Victorian House
- * Two Reception Rooms
- * Downstairs Cloakroom
- * First Floor Bathroom W/C

£199,950

NEW INSTRUCTION

Wolsey Road

- * Three Bedroom
- * 1950's Mid-Terraced Build
- * Tunnel-Linked
- * First Floor Cloakroom
- * Ground Floor Bathroom W/C

£209,995

NEW INSTRUCTION

Riley Road

- * Three Bedroom
- * Semi-Detached House
- * 1900's Build
- * Side Access
- * Rear Garden

£239,995

6 CHURCH STREET, EDMONTON N9



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Edmonton N9

- * Two Bedroom House
- * Mid-Terraced 1950's Build
- * Galliard Estate
- * Double Glazed
- * First Floor Bathroom/wc

£205,000

Edmonton N18

- * Four Bedroom House
- * Semi-Detached
- * Double Glazed
- * Side Garage
- * Ground Floor Shower Room/WC

£249,995

Edmonton N9

- * Three Bedroom House
- * End-of-Terraced 1990's Build
- * Ground Floor Cloakroom
- * First Floor Bathroom/wc

£254,995

Edmonton N18

- * Three Bedroom House
- * Mid-Terraced 1950's Build
- * Two Receptions
- * Utility
- * First Floor Shower Room/Wc

£269,995



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HALIFAX ROAD £315,000

Two bedroom character filled end of terrace house situated in a popular turning off Chase Side benefits from a kitchen/diner, separate utility room, separate WC, feature fireplaces.



CHASEWOOD AVENUE £624,995

Recently refurbished, this four bedroom detached house situated in Western Enfield benefits from its own driveway, garage, lounge/diner, 22ft Conservatory, guest cloakroom, en suite.



VILLAGE ROAD £415,000

Two bedroom luxury apartment situated on the ever popular 'Village Road' benefits from an en-suite, underground parking, own balcony, chain free, kitchen/diner. Keys held - call to view.



**DOWNSD ROAD
£299,995**

Three double bedroom house benefiting modern bathroom and kitchen/diner.



**COSMOPOLITAN
£127,500**

First floor studio flat benefiting from a separate sleeping area and chain free.



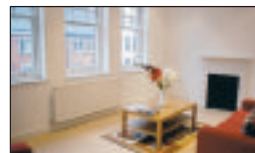
**TOWERPOINT
£229,995**

Two bedroom flat benefiting from a private balcony, en-suite bathroom, chain free.



**CANONBURY ROAD
£284,995**

Three bedroom Victorian house benefiting en-suite shower rooms to all bedrooms.



**CHURCH STREET
£249,995**

Refurbished two double bedroom split level flat benefits modern kitchen, chain free.



**CUNARD CRESCENT
£194,995**

One bedroom flat being offered chain free and benefiting telephone entry system.

PROPERTY IS SELLING - AND IT'S SELLING WITH LANES!



**LAURA CLOSE
£389,995**

Three bedroom house benefits from a ground floor WC, garage, off street parking.



**WADDINGTON CLOSE
£132,500**

Studio flat with separate sleeping area benefits a modern kitchen, loft access, chain free.



BYCULLAH ROAD £364,995

Situated off of the Ridgeway, this three bedroom house benefits from a garage, megaflo pressurised hot water system, through lounge, uPVC double glazing and gas central heating.



**CHASE GREEN AVENUE
£450,000**

Three bedroom house benefits from off street parking, ground floor WC and garage.



**INGLEBOROUGH COURT
£194,995**

Two bedroom retirement flat benefits lifts in block, own balcony and chain free.



PARSONAGE LANE £419,995

Three bedroom 1930's halls adjoining house benefits from two reception rooms, ground floor cloakroom, off-street parking, garage and self-contained workshop/study to rear of garden.



**BLUEBERRY COURT
£384,995**

Two bedroom, two bathroom apartment benefits 900+ year lease and 22 ft lounge.



**THE RIDGEWAY
£749,995**

Three bedroom detached family home benefits from three reception rooms.



SEVERN DRIVE £274,995

Situated conveniently for the A10/M25 transport links, this well presented three bedroom 1930's house benefits from a garage, utility room, extended kitchen/diner and off street parking.



**NEW RIVERSIDE -
PALMERS GREEN**

£199,950 - £499,950
SHOW HOME AVAILABLE TO VIEW - A prestigious gated waterside development of new houses, 1, 2 and 3 bedroom apartments including penthouses with stunning views over the New River. Within walking distance of local shopping and Palmers Green station. Part exchange available. For further information contact Diana on 020 8370 3999.



**CRYSTAL COURT -
OAKWOOD**

£249,950 - £525,000
RESERVE OFF-PLAN - A exclusive development of contemporary 1, 2 and 3 bedroom apartments designed to a high specification and all with their own outside space. Fully appliances designer kitchen, lift to the front block, allocated parking. Call now for more info - 020 8370 3999.



N2 - FINCHLEY

£209,950 - £317,950
SHOW APARTMENT OPEN WEEKENDS - A development of 1 and 2 bed apartments. Fully integrated kitchens, lift to all floors, gated underground car parking plus more! 5% gifted deposit, Stamp Duty paid & £1k towards legal fees. Call now to view - 020 8370 3999.

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THE MEWS

£234,950

UNEXPECTEDLY BACK ON MARKET This two bedroom new build house with parking, integrated kitchen, downstairs wc and first floor bathroom. Available now.



EAGLE CLOSE

£174,500

A two bedroom ground floor maisonette with share of freehold, rear garden, gas central heating and double glazing. Chain free.



THE SUNNY ROAD

£219,995

This two bedroom mid terraced house has a first floor bathroom. Call now.



PEMBROKE AVENUE

£229,995

A three bedroom end of terraced house has off street parking. Call now.



BISHOPS CLOSE

£274,995

A two bedroom semi detached house has potential to extend or build a new house (stpp).



BUSHBARNES

£197,500

A two bedroom end of terrace house with benefits to include double glazing, gas central heating and a lounge with separate dining area. Call now!



ORCHARD SQUARE

£239,950

A three bedroom semi detached house with double glazing, gas central heating, ground floor shower room/utility room and upstairs bathroom.



RUSSELLS RIDE

£239,995

An extended three bedroom end of terrace property close to shops.



ENDEAVOUR ROAD

£199,995

A three bedroom end of terrace house within walking distance to local shops and schools.



EASTERN AVENUE

£167,500

A two bedroom end terrace house with double glazing and parking.

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BREN COURT

£165,995

This two bedroom flat has an en-suite to master bedroom and entryphone system.



EAGLE CLOSE

£172,500

This two bedroom ground floor maisonette has a 900+ year lease and double glazing.

MORE PROPERTIES WANTED



GOODWOOD AVENUE

£227,500

Two bedroom end of terrace house with off street parking and conservatory



DELL ROAD

£245,000

A three bedroom extended 1930's house with off street parking and garage.



TURKEY STREET

£237,000

This 1650 grade II listed house is arranged over three floors, call now.



DAIRYGLEN AVENUE

£156,995

A ground floor two bedroom flat within walking distance to shops.



BREACH BARNES

£74,950

A two bedroom park home with gas central heating and parking.



OFFERS IN EXCESS OF

£145,000

A two bedroom top floor flat with allocated parking.



EATON PLACE BROXBORNE

£345,950-£659,950
SHOW HOME NOW OPEN - PX AVAILABLE - A secluded development of just 13 homes, including two 3 bed semi-detached and four and five bedroom detached homes. Within walking distance of Broxbourne School and train station. Call now for further details 020 8370 3999.



PYMMES BROOK VILLAS, BARNET

£749,995
SHOW HOME NOW OPEN - PART EXCHANGE AVAILABLE- Just 6 four bedroom contemporary family homes located within walking distance of New Barnet Station. High spec, fully integrated kitchen/breakfast room, 90ft garden, designed over 4 floors plus much much more! Call now for more info 020 8370 3999.



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8363 8888**TROJANS**
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8363 8888**New
Instruction****Bush Hill Park £234,995**

1930's mid terrace house in Bush Hill Park benefiting from a through lounge, character fireplace, first floor bathroom, gas central heating and garage to rear. The property is within walking distance to Bush Hill Park BR and is in need of a full refurbishment. The Property is perfectly located for Raglan School catchment, road link to A10, M25 and A406.

**Must
View****Enfield £169,995**

Well presented two bedroom ground floor flat in Enfield Highway. The property benefits from two double bedrooms, a 18ft lounge, modern kitchen and bathroom. Allocated parking and communal gardens. The property is within walking distance to Brimsdown station providing links into London.

**Price
Reduction****Bush Hill Park £239,995**

1930's 2 bedroom house benefiting from a spacious open plan lounge and kitchen, two good size bedrooms, off street parking, conservatory and 70ft long garden. The property is within walking distance to Bush Hill Park B.R station. A great home for a young couple or single person.

Refurbished**Bush Hill Park £249,995**

Fully refurbished three bedroom mid terrace house. The property features a newly fitted modern kitchen and bathroom, new double glazing throughout, spot lights throughout and gas central heating. The property is situated a short distance away from the A10 with links to the M25 and A406.

**New
Instruction****Bush Hill Park £324,995**

Spacious three bedroom mid terrace house within Raglan School Catchment, benefiting from gas central heating, double glazing, a spacious kitchen/diner, off street parking, two good size double rooms and a modern bathroom. The property is within a few minutes walking distance to Bush Hill Park BR station, close links to A10, A406 and Enfield Town.

**Catchment
Area****Bush Hill Park £329,995**

1930's end of terrace three bedroom house benefiting from two reception rooms, downstairs w.c, three good size bedrooms, gas central heating and off street parking. The property is within walking distance to Bush Hill Park B.R and local amenities.

Stunning**Bush Hill Park £374,995**

Stunning 4 bed house in bush hill Park, the house benefits 3 Double bedrooms and 1 box room which is being used as an office, the loft room comes with a en-suite, under floor heating in the main bathroom, ground floor Clinkroom, off street parking for two cars and double garage with Power & electric doors to rear.

**Family
Home****Enfield £444,995**

Wonderful and spacious four Bedroom 1930's house in Enfield town. The property benefits four good size bedrooms, a Spacious Kitchen Diner, Double glazing throughout, Character Fireplace, Downstairs WC, First floor Bathroom, 80 FT garden and a Detached Garage to side.

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FEATURED PROPERTY



Enfield £269,995 F/H
A three bedroom semi detached family home situated within easy reach of Southbury British Rail Station and local shopping facilities. Benefits include through lounge, modern kitchen, off street parking for two vehicles, garage to side and potential to extend to side and rear of the property (STPP).

FEATURED PROPERTY



Enfield £239,995 F/H
A three bedroom mid terrace family home situated within easy reach of Enfield Lock British Rail Station. Benefits include 23ft lounge, gas central heating, double glazing and off street parking.

FEATURED PROPERTY



Broxbourne £159,995 L/H
A two bedroom second floor apartment, situated within easy reach of Brookfield Shopping center, Benefits include modern fitted kitchen, Juliet style balcony en-suite and double glazing.



Edmonton £108,995 L/H
A ground floor studio apartment situated within easy reach of Edmonton Green British Rail Station and Shopping Centre. Benefits include separate sleeping area, modern kitchen and communal parking.



Enfield £279,995 F/H
A four bedroom semi detached home within reach of Turkey Street and Southbury BR Stations. Benefits include kitchen/diner, utility room, cloakroom, double glazing, gas central heating and garage.



Edmonton £194,995 F/H
A two bedroom mid terrace family home situated off the Hertford road and easy reach of Edmonton Green Shopping Centre. Benefits include double glazing, 25ft lounge, first floor bathroom and gas central heating.



Enfield £259,995 F/H
A four bedroom extended end of terrace family home situated within easy reach of Brimsdown British Rail Station. Benefits include two reception rooms, lean to and double glazing.



Enfield £229,995 F/H
A three bedroom end of terrace home close to Brimsdown BR. Benefits include two receptions, kitchen, garage, off street parking, garden with potential for extension to side and rear (STPP). CHAIN FREE.



Enfield £259,995 F/H
A three bedroom semi detached bungalow situated within easy reach of Ponders End and Brimsdown BR Stations. Benefits include two reception rooms, double glazing, gas central heating and off street parking.



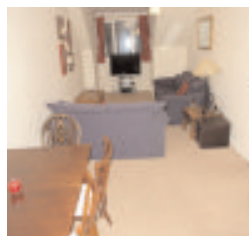
Enfield £164,995 L/H
A newly refurbished one bedroom bungalow within reach of Ponders End BR. Benefits include a fitted kitchen, entry phone system, double glazing, gas central heating and a courtyard style rear garden.



Enfield £142,500 L/H
A one bedroom first floor apartment situated on the Enfield Island Village and its onsite supermarket, local amenities and local bus routes. Benefits include 10' 5" Ceilings and 6'10" high double glazed windows.



Edmonton £219,995 F/H
A two bedroom mid terrace family home within easy reach of Silver Street British Rail Station. Benefits include lounge, kitchen, bathroom, double glazing, gas central heating and approximately 80ft rear garden.



Enfield £169,995 L/H
A two bedroom first floor apartment situated within easy reach of Turkey Street BR. Benefits include 27ft lounge, good size kitchen, double glazing and allocated parking.



Enfield £234,995 F/H
A three bedroom tunnel linked terrace family home situated within reach of Brimsdown and Ponders End BR Stations. Benefits include a kitchen, double glazing, gas central heating and a rear garden. CHAIN FREE.



Enfield £179,995 L/H
A two bedroom ground floor maisonette situated within easy reach of Turkey Street British Rail Station. Benefits include double bedrooms, gas central heating, off street parking and own rear garden.



Enfield £324,995 F/H
A three/four bedroom semi detached home with spacious living accommodation to the ground floor with two receptions, kitchen/diner, shower room, family bathroom, double glazing and gas central heating.



Enfield £144,995 L/H
A two bedroom first floor split level maisonette, situated within easy reach of Ponders End BR Station and local shopping amenities. Benefits include double bedrooms, lounge and gas central heating.



Waltham Cross £169,950 L/H
A two bedroom end of terrace home situated within easy reach of Waltham Cross British Rail Station. This property is in need of modernisation and would suit DIY enthusiasts.



Enfield £259,995 F/H
A three bedroom semi detached home situated within easy reach of Turkey Street BR. Benefits include kitchen/diner, cloakroom, lounge, double glazing gas central heating and off street parking. CHAIN FREE.



Enfield £244,995 F/H
A three bedroom extended terrace family home situated within easy reach of Brimsdown BR Station. Benefits include kitchen/diner, through lounge, double glazing and approximately 100ft plus rear garden.



Enfield £174,995 F/H
A one bedroom end of terrace house situated within easy reach of Enfield Lock British Rail Station. Benefits include a good size lounge, spacious kitchen area, double bedroom and rear garden.

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FEATURED PROPERTY



Enfield £274,995 F/H

A two bedroom semi detached family home situated within reach of Turkey Street BR Station. Benefits include double glazing, gas central heating, ground floor bathroom, first floor WC, garage, large side garden with potential to build a house to side (STPP).

FEATURED PROPERTY



Enfield £234,995 F/H

A three bedroom mid terrace family home situated within walking distance of Turkey Street British Rail Station and the A10 Road links. Benefits include through lounge, conservatory, double glazing, gas central heating and a detached garage to rear.

FEATURED PROPERTY



Enfield £274,995 F/H

A three/four bedroom mid terrace town house on the Enfield Island Village. This property is spacious throughout and benefits from a kitchen/diner, playroom/study, en-suite to master bedroom, double glazing, gas central heating, garage and parking.



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Bairstow eves

Countrywide

Southgate 020 8886 2216

SOUTHGATE, N14



£210,000

This spacious duplex flat offers lounge, kitchen/diner, wc, two bedrooms, study/nursery and bathroom. The property laid out over the 2nd and 3rd floor of this purpose built block with. Positioned less than 1/4 mile from Southgate station and accessed via a secure entryphone system.

OAKWOOD N14



£230,000

A well presented two bedroom first floor maisonette in a secluded position located approximately 1/3 mile from Oakwood Tube Station with allocated parking and communal garden.

NEW SOUTHGATE N11



£230,000

A well presented 2 bedroom ground floor located approx 1/2 mile from both Arnos Grove tube station and New Southgate train station. Benefits include oriel bays in both the lounge and main bedroom, re-fitted bathroom and kitchen, gas central heating, double glazing, security entryphone and residents parking.

NEW SOUTHGATE, N11



£250,000

A well presented two bedroom first floor period conversion with communal garden located approximately 200m from Arnos Grove Tube Station and just 500m from New Southgate Train Station.

WINCHMORE HILL, N21



£265,000

A spacious two bedroom conversion within Highlands village. The flat on the first floor offers high ceilings original sash windows as well as ensuite to master bedroom, gas central heating and two parking spaces. Local schools include Highlands, Merrihills, and Eversley Park. Grange park is the nearest station (moorgate line) and there are regular bus services to both Southgate and Enfield

WINCHMORE HILL, N21



£265,000

A well presented 2 bedroom top floor flat within a gated development in Highlands Village. The flat is offered with garage and parking space. Benefits include ensuite to master bedroom, gas central heating, loft space. The amenities of Highland Village are on the doorstep. The nearest station in Grange Park overground on the Moorgate line.

WINCHMORE HILL, N21



£240,000

A 2 bedroom first floor flat conversion in one of the original buildings and boasting high ceilings, georgian style sash windows and cornering. The property also benefits from gas central heating, residents parking area and has a dressing area leading from the main bedroom.

PALMERS GREEN N13



£459,950

A well presented older style semi detached house bordering Winchmore Hill offered as END OF CHAIN and located approximately 1/2 mile from both Winchmore Hill Green and Station. As well as three bedrooms, through lounge, Kitchen/Diner and family bathroom the property has the added benefit of a mezzanine level in the main bedroom.

OAKWOOD EN2



£460,000

A well presented three bedroom house with garage to side. A through lounge offers direct access to the rear garden (50') with a timber summer house and there is off street parking at the front of the property. Oakwood underground station, Merryhills, Eversley and Highlands Schools are all within 0.6 miles of the house.

ARNOS GROVE N13



£365,000

A mixed commercial and residential premises comprising a four bedroom residence with shop unit fronting onto Bowes Road. Accommodation is as follows: Commercial - Shop/Office, wc; Residential: Hallway, wc, Lounge, Kitchen/Diner, Family Bathroom. Loft with further potential (subject to planning and permissions)

SOUTHGATE N14



£625,000

This well presented 5 bedroom semi detached house just 0.4 miles from Walker Primary School and just yards from the entrance to Arnos Park. As an added bonus the house has previously had planning for a 3 storey side extension (renewal required.) A southerly aspect garden in excess of 100ft and off street parking complete this fantastic family home.

SOUTHGATE N14



£529,995

An extended four bedroom halls adjoining semi detached house with 70' garden and garage to side offering further potential (subject to planning and permissions). The property is located approx 1/2 mile from Oakwood tube station. Accommodation includes two receptions, kitchen, ground floor cloakroom, en-suite to master and family bathroom.

WINCHMORE HILL, N21



£775,000

A substantial five bedroom semi detached property in this prestigious road backing onto Grovelands Park. The property is less than 2/3 mile from Southgate Tube Station and approximately 1/2 mile from Winchmore Hill Green.

WINCHMORE HILL, N21



£895,000

A modern and light spaciously planned detached family home fitted with specialist lutron lighting system, heated outdoor swimming pool and high security features such as smash proof window films throughout the house and CCTV in this highly sought after part of Winchmore Hill, with easy access to Southgate/Winchmore Hill stations and The Green for local shops.

PALMERS GREEN, N13



£885,000

A beautiful 5 bedroom semi detached house in the popular lakes area of Palmers Green. The house offers 3 receptions, kitchen/breakfast room and both bathroom and shower room on 1st floor. The house is less than 1/4 mile from Palmers Green station. Earliest possible viewing of this house is recommended.

OAKWOOD EN2



£1,100,000

A much improved and extended detached home that can offer unique accommodation options. Currently the property has studio to the rear of the garden with its own kitchenette, bedroom and bathroom. It also offers a Granny Annex comprising two receptions, kitchen area, bedroom and shower room as well as the main family home with four further bedrooms (with multiple en-suites) family bathroom, kitchen/diner, through lounge and further reception.

Bairstow eves

Countrywide

Edmonton 020 8803 3344

Edmonton N9



£85,000

First floor purpose built studio apartment located off Church Street and within 1/2 of a mile from Edmonton green train station and shopping centre, the flat benefits from double glazing, electric heating, freehold and offered chain free.

Edmonton



£95,000

Ground floor studio flat with a separate sleeping area, electric heating, in need of refurbishment, offered chain free and located within 3/4 of a mile from Silver Street train station.

Edmonton N18



£115,000

1 bedroom purpose built ground floor garden flat located off Silver Street, within 1/4 of a mile from Silver Street train station and offered chain free.

Edmonton



£119,995

One bedroom second floor flat with gas central heating, balcony and located within 1/2 of a mile from Edmonton Green train station and shopping centre.

Edmonton



£120,000

Bairstow Eves are pleased to offer this one bedroom first floor purpose built flat situated within close proximity to Edmonton Green station. For viewings call 020 8803 3344.

Edmonton



£130,000

One bed purpose built ground floor garden flat with gas central heating, single glazing and located just off Fore Street and within 1/2 of a mile from Silver Street train station and close proximity to local shops.

Edmonton



£150,000

2 bedroom 4th floor apartment located within the Edmonton Green shopping centre complex and located within 200m from Edmonton Green train station and adjacent to the bus terminus. The apartment benefits from double glazing, electric heating, lift service and is offered chain free.

Edmonton N9



£209,995

A two bed mid terrace house with gas central heating and part double glazing. Through lounge, kitchen, first floor bathroom. Rear garden approx 54 ft. Close proximity to Edmonton Green shopping centre. Offered on a chainfree basis.

Edmonton



£215,000

2 bedroom extended house with gas central heating, double glazing, first floor bathroom, 40 ft rear garden, 22 ft through lounge and located within 1/2 of a mile from Edmonton Green shopping centre and train station.

Edmonton



£229,995

3 bedroom extended house with a through lounge, gas central heating, double glazing, ground floor bathroom and located within 1/4 of a mile from Silver Street train station.

Edmonton N18



£249,950

3 bedroom extended end of terraced house with 2 receptions, ground floor bathroom, shower room, gas central heating, double glazing, off street parking for numerous vehicles and offered chain free.

Edmonton



£255,000

Three bedroom modern style end of terraced house with gas central heating, double glazing, ground floor wc, first floor bathroom, 39ft rear garden and allocated parking space.

Edmonton N9



£265,000

Three bedroom extended semi detached house located within 1/2 a mile from Edmonton Green shopping centre and train station, the property benefits from 2 receptions, 15ft kitchen, first floor bathroom, ground floor wc, 61ft rear garden and offered chain free.

Edmonton N9



£285,000

• • MAKE AN OFFER • • 5 bedroom mid terraced house with gas central heating, double glazing, 40 ft rear garden, first floor bathroom and located within 1/2 of a mile from Edmonton Green train station and shopping centre.

Edmonton N9



£289,995

4 bedroom semi detached house with off street parking, 2 receptions, double glazing, gas central heating, ground floor bathroom and a 109ft rear garden.

Edmonton



£300,000

• • • MAKE AN OFFER • • • An extended 3/4 bed semi detached house benefitting from gas central heating and double glazing. Lounge, kitchen/diner and first floor bathroom. The property has attached a self contained annexe which consists of own kitchen and shower room and lounge/bedroom. Off street parking to front and brick built shed in rear garden. Chain free

HETHERINGTONS

FOR THE FINEST HOMES



BROXBOURNE £419,995

■ High specification finish ■ Walking distance of station
■ Backing New River ■ 4 Bedrooms ■ Lounge with river views ■ Master bedroom with balcony ■ Stunning kitchen diner ■ 2 bathrooms (1 en-suite) ■ Garage & parking

Office: Broxbourne 01992 440 000



CUFFLEY £634,950

■ Detached family house ■ 4 Double bedrooms
■ 2 Bathrooms (1 en-suite) ■ Dual aspect living room
■ Family room/ ground floor bedroom with en-suite wet room ■ Kitchen/dining area ■ Utility room
■ Cloakroom ■ 68' Secluded rear garden

Office: Cuffley 01707 875 161



HAILEY £525,000

■ Grade 11 listed detached cottage ■ Sough after location ■ Semi rural ■ 4 Bedrooms ■ 3 Receptions ■ Wealth of period features ■ Mature gardens ■ Block paved driveway ■ SG13 Postcode ■ Close to Haileybury College

Office: Broxbourne 01992 440 000



CREWS HILL £365,000

■ 2 Double bedrooms ■ Attached double garage
■ Secluded south-west facing garden ■ Modern fitted kitchen ■ Good decorative order ■ Quiet residential turning ■ Within 3/4 mile of station

Office: Cuffley 01707 875 161



BROXBOURNE £799,995

■ Detached house ■ 6 Bedrooms ■ 4 Reception Rooms
■ Built 2003 in a period style ■ presented over 3 floors
■ Approaching 3200 sq.ft ■ Mature rear garden
■ Close to Broxbourne secondary school ■ Chain free
■ Broxbourne mainline about 1 mile

Office: Broxbourne 01992 440 000



CUFFLEY £559,950

■ Detached house in quiet cul-de-sac ■ Easy walking distance to shops & station ■ Dual aspect living room
■ 4 Bedrooms ■ 2 Bathrooms (1 en-suite) ■ Dining room ■ Study ■ Family room ■ Double garage
■ Gas heating to radiators

Office: Cuffley 01707 875 161



NEAR WARE £695,000

■ Detached chalet style house ■ Peaceful rural location
■ Spacious versatile accommodation
■ Plot approximately 1/2 an acre ■ Outstanding views over countryside ■ 3 Double bedrooms ■ 4 Reception rooms ■ Detached double garage ■ Lapsed planning consent for conversion

Office: Broxbourne 01992 440 000



GOFFS OAK £550,000

■ Detached bungalow set back from road
■ 3 Double bedrooms ■ 100' West facing rear garden
■ Double garage ■ 27' Lounge/dining room
■ 23' Kitchen/breakfast room

Office: Cuffley 01707 875 161



BROXBOURNE £610,000

■ 4 Bed detached house ■ Private road location
■ Impeccably presented ■ Considerable potential
■ 3 Reception rooms ■ Study/home office ■ Beautiful mature rear garden ■ Extensive parking area
■ 2 Garages ■ Convenient for local amenities

Office: Broxbourne 01992 440 000



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Sales and Lettings
covering all parts of Enfield

target



N18 £85,000

CASH BUYERS ONLY! A two bedroom split level flat situated on the 9th floor in need of modernisation. CHAIN FREE!



EN3 £137,500

A two bedroom purpose built flat located in a popular development within easy reach of Enfield Lock mainline station. CHAIN FREE!



N13 £159,950

A spacious and well presented one double bedroom top floor purpose built flat located just off Wolves Lane N13. The property is one of the larger flats in the developments and is offered for sale in good decorative order.



N9 £205,000

A two double bedroom mid terrace property located within easy reach of Edmonton Green Shopping Centre. Features include through lounge, first floor bathroom, double glazing, gas central heating and off street parking. CHAIN FREE!



N9 £209,950

A beautifully presented two double bedroom 1900's style mid terrace property located within easy reach to Edmonton Green. The property benefits from open plan through lounge, spacious kitchen, ground floor bathroom, two double bedrooms, double glazing and gas central heating.



N9 £229,950

A three double bedroom mid terrace property located on a popular turning off the Hertford Road. CHAIN FREE!



N9 £234,950

A well presented three bedroom 1900's built mid terrace property located within easy reach of Edmonton Green Shopping Centre. Features include three good size rooms, two reception rooms, first floor bathroom, ground floor WC, extended kitchen diner and rear access.



N9 £299,950

A spacious and very well presented three double bedroom semi detached property located moments from Edmonton Green Shopping Centre. The property is in outstanding condition and benefits from carriage driveway, first floor bathroom, 30 foot through lounge and off street parking for multiple vehicles.



N13 £260,000

A three bedroom 1930's built mid terrace property in need of complete refurbishment. Features include two reception rooms, first floor bathroom, garage to rear and room for off street parking STPP. CHAIN FREE!



N9 £290,000

A beautifully presented three/four bedroom semi detached property located within walking distance to Latymer School and Edmonton Green. Features include three double bedrooms, two generous reception rooms, study/4th bedroom, detached garage, front back and side garden, double glazing and gas central heating.



Firs Lane £399,950

A fully refurbished three bedroom detached property with integral garage, spacious open plan lounge, ground floor WC, first floor bathroom, 60 foot rear garden and parking for up to three cars. CHAIN FREE!



N9 £269,950

A three bedroom chalet style semi detached property located on the very popular Latymer and Huxley estate. Features include three good size rooms, front back and side garden, off street parking and first floor WC. CHAIN FREE! OFFERS INVITED



N18 £800 pcm

A very well presented studio flat located in a popular development just off Montagu Road.



N9 £1,200 pcm

A two bedroom mid terrace property located on a popular residential turning close within easy reach of the Hertford Road and Ponders End Station.



N9 £1,300 pcm

A three bedroom terraced property located on a popular turning off the Hertford Road.

315 Hertford Road, Edmonton N9 7ET

DABORACONWAY

Specialists in Sales, Lettings
& Property Management



Est. 1991

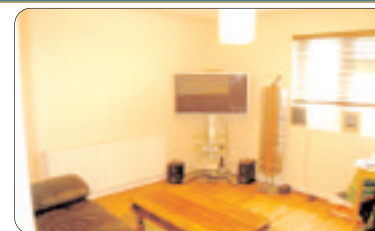
Incorporating
LESLIE RICKETTS & CO
EST. 1934



WINCHMORE HILL N21

£799,995 F/H

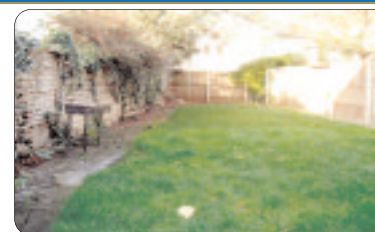
An impressive extended four bedroom detached home conveniently located within easy reach of Southgate (Piccadilly Line) tube station, shopping centre and leisure facilities. The property offers spacious family accommodation together with a large rear garden.



WINCHMORE HILL N21

£199,950 L/H

Purpose built top floor (3rd) one bedroom flat, being an added new addition to the main block, situated set back on Green Lanes being perfectly situated for local shopping, including Sainsbury's and within half a mile of Winchmore Hill Main Line station. Benefits include modern fitted kitchen, parking, bathroom separate WC.



WINCHMORE HILL N21

£309,995 F/H

Spacious three bedroom terraced double fronted house, ex-Local Authority, situated off Green Lanes in Winchmore Hill, being ideal for the local Sainsbury's supermarket and Winchmore Hill Main Line station. Accommodation comprises two separate double aspect reception rooms, kitchen/diner, bathroom/w.c. Secluded Garden and off-street parking. Offered CHAIN FREE!



SOUTHGATE N14

£415,000 F/H

An extended three bedroom end of terrace house located in a quiet but most convenient residential position with Ashmole & Osidge Schools, Asda Superstore and shopping centre, Southgate Leisure Centre and Southgate Underground station all within a 10 minute walk.



OAKWOOD N14

£499,995 F/H

Three bedroom semi detached 'GEORGE REED' halls – adjoining property situated in this popular location, being within easy reach of Oakwood (PICC.LINE) tube station and local shopping amenities.



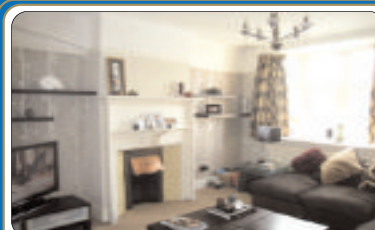
HARINGEY LADDER N8 £1,995 PCM

Newly refurbished four bedroom Edwardian house, situated on the very popular Haringey Ladder, being less than ¼ mile from Turnpike Lane Tube station (Piccadilly Line) and Wood Green multiple shopping centre, and all other local amenities.



COCKFOSTERS EN4 £1,750 PCM

Newly decorated 3/4 bedroom house close to Cockfosters Tube. The property consists of lounge, kitchen, two double and one single bedrooms, bathroom: with bath/shower and WC, garden and driveway to front. All new carpets throughout available unfurnished.



WINCHMORE HILL N21

£235,000 L/H

Large first floor two double bedroom flat, situated above shops on Green Lanes, which has been extensively modernised by the present owners. Benefitting from double glazed windows, modern kitchen/diner and bathroom, ideal for Winchmore Hill overground station and other local amenities.

Further properties available at www.daboraconway.com
020 8360 1000

786-788 Green Lanes, Winchmore Hill N21 3RE N21@daboraconway.com



Also at: Wanstead: Sales & Lettings 020 8989 1234 - South Woodford: lettings 020 8530 7200

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H O M E S

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Bar/Restaurant Winchmore Hill £40,000 pa



Restaurant /Bar in a desirable location in the Winchmore Hill area. This property has had a lot of refurbishment undertaken and is ideal for a new purchaser to take over were left off. This property has an A3 licence and also permits the sale of alcohol without the sale of food. This property is situated over ground and basement levels and is approx 1800sq ft. This property is also situated within a 1/4 of a mile of Winchmore Hill BR Station.

**OFFERS
INVITED**



Edmonton £22,500

Fronted unisex hairdressing salon, this property has features to include reception area with seating, 2 x barbers work stations with chairs and mirrors. Hairdressing section with wash basin, staff w/c and kitchen. 8 years lease, £6,250 per annum



Enfield £229,995

This property has 3 bedrooms, lounge, kitchen/diner, fully tiled bathroom suite, first floor w/c, Conservatory, gas central heating (not tested), double glazed windows, rear garden and hard standing area to the front. This property is offered on a chain free basis.



Edmonton £169,950

Spacious three bedroom purpose built maisonette, gas central heating, fitted kitchen, tiled bathroom, close to local amenities, double bedrooms, offered chain free.



Ponders End £140,000

Two double bedroom 1st floor flat with features to include 2 double bedrooms, kitchen, bathroom suite, lounge, double glazed windows, gas central heating, currently receiving approx rental of £1000 pcm.



Enfield Town £1100 PCM

Newly refurbished two bedroom flat in Enfield Town, this property comprises of double bedrooms, open plan fitted kitchen/lounge, double glazed windows, allocated parking space and a communal roof terrace.



2 Bedroom Maisonette Enfield EN3 £1100 PCM



Two bedroom ground floor maisonette with private garden, two double bedrooms, large lounge, three piece bathroom suite, fitted wardrobes, gas central heating and double glazed windows. Fitted kitchen with appliances and laminate flooring throughout.



Edmonton

Large ground floor studio flat with separate kitchen, laminate flooring throughout and gas central heating and garden.

£775 PCM



Winchmore Hill

First floor studio flat newly repainted, situated in the heart of Winchmore Hill, gas and water rates inclusive.

£775 PCM



Enfield

Two bedroom ground floor maisonette with private garden, one double bedroom, one single, gas central heating and walking distance to local amenities.

£1050 PCM



Enfield

Three bedroom house with large kitchen diner, fully double glazed, large through lounge, parking and gas central heating Available End of March.

£1300 PCM



Edmonton

Large three bedroom 1st floor maisonette, lounge with patio doors leading to balcony, kitchen, two w/c's, gas central heating & double glazed, close to Middlesex Hospital.

£1250 PCM

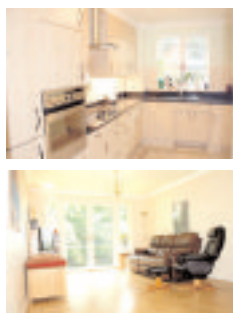
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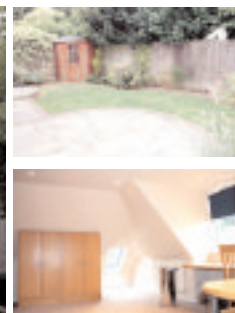
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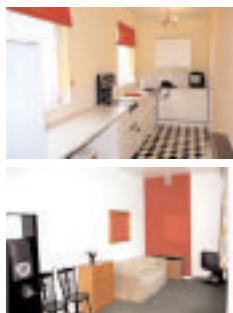
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Find 100's more properties at www.ellisandco.co.uk**CRESCENT ROAD EN2****£359,950**

* Superb Ground Floor Apartment * Highly Regarded Development * Outstanding Views * Two Large Bedrooms * Master Bedroom with En-Suite Wet Room * Additional Four Piece Bathroom * Large Lounge with Double Doors to Private Balcony * Modern Fitted Kitchen * Underground Parking and Storage * Gas Central Heating * Sole Agents

THE GLEN EN2**£649,950**

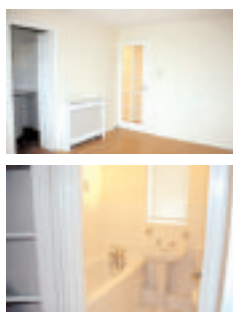
* Superb Five Bedroom Detached House * Highly Sought After Cul-De-Sac * Large Thru' Lounge/Dining Room * Delightful Kitchen/Breakfast Room * Utility Room * Ground Floor Cloakroom * Two Bathrooms * Integral Garage with Private Drive * Secluded Gardens * Excellent Order Throughout * Available Chain Free * Viewing Strongly Recommended * Keys in our Offices

ST MARKS ROAD EN1**Reduced To £119,950**

* Split Level Maisonette * One Large Bedroom * Unique Conversion * Economy 7 Heating * 77 Years Unexpired Lease * Spacious Kitchen * Large Lounge * Courtyard Entrance * Moments Walk From Bush Hill Park Station * Excellent Investment Potential

ROBSON CLOSE EN2**Reduced To £489,950**

* Impressive Detached Family Home * Fully Refurbished to an Exacting Standard * Three/Four Bedrooms * Master Bedroom with Dressing Room/Bed 4 * Open Plan Living Accommodation * Superb Kitchen/Breakfast Room * Ground Floor Cloakroom * Lovely Bathroom with Steam Room Spa Bath and Integrated TV * Wired for Sound and Vision Throughout * Swimming Pool with Electric Security Cover * Sole Agents * Highly Recommended

LINWOOD CRESCENT EN1**£139,950**

* Superb Top Floor Flat * One Large Bedroom * Lovely Views Over King George V Playing Fields and Beyond to London * Excellent First Time Purchase * Good Order Throughout * Spacious Lounge/Dining Room * Modern Fitted Kitchen and Bathroom * Available Chain Free * Highly Recommended

LADYSMITH ROAD EN1**£359,950**

* Excellent 1930's Built Semi-Detached * Three Bedrooms * Two Separate Reception Rooms * Garage with Shared Drive * Additional Off Street Parking * Conservatory * Larger Kitchen * Delightful 120' Garden Overlooking The New River * Gas Central Heating * Sought After Location * Easy Walk of Enfield Town * Available Chain Free

LINWOOD CRESCENT EN1 £750 PCM**LINGFIELD CLOSE EN1 £900 PCM****BURLEIGH WAY EN2 Reduced To £900 PCM****ENFIELD EN1 £975 PCM**

* Attractive One Bedroom Flat * Second Floor * Modern Development * Modern Fitted Kitchen * Bathroom with Shower * Entryphone System * Good sized Rooms * Furnished * Available late February



* Attractive First Floor Flat * Two Bedrooms * New Carpets * Delightful Location * Moments Walk from Bush Hill Park Station * Ample Parking * Ideal for Sharers * Available For Immediate Occupation



* Situated In The Heart Of Enfield Town * Spacious Three Bedroom Flat * Two Large Double Bedrooms And One Single * Electric Storage Heating * Fitted Kitchen And Family Bathroom * Unfurnished * Available early October



* Spacious Second Floor Flat * Two Large bedrooms * Walking distance of Enfield Town * Part Furnished * Available Early January * Highly Recommended

Enfield Town
58 Church Street, Enfield EN2 6AX.
020 8363 8282
enfield@ellisandco.co.uk





Smart Move™ Estate Agents

For Sale | Edmonton Green Branch N9 020 8345 5444



Wrampling Place, N9, £135,000, L/H
Smart Move is delighted to present this excellent conditioned newly refurbished one bedroom ground floor maisonette located in Edmonton. Boasting: rear garden, central heating, conservatory, own entrance, long lease, large reception & double bedroom, residents parking & is walking distance to BR station and High St shopping centre. Internal viewing highly recommended!



Galliard Road, N9, £219,995, F/H
Smart Move is delighted to offer this large excellent condition two bedroom semi detached house located in the prestigious Galliard Estate in Edmonton. Boasting: Double glazed conservatory, first floor family bathroom, double glazing, central heating, and fitted kitchen, off street parking, 50ft garden & walking distance to Galliard school. First to see will buy!



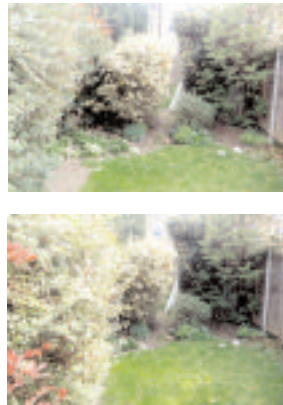
Huxley Road, N18, £229,995, F/H
Smart Move is pleased to offer this extremely large three bedroom Victorian terrace house located in Edmonton. Benefiting from gas central heating, double glazing, first floor bathroom & two reception rooms. Ideal investment or first time buy!



Hydethorpe Avenue, N9, £269,995, F/H
Smart Move is delighted to offer this very large extended three bedroom terrace house located in a much sought after cul-de-sac in Edmonton just off church St. Boasting: Kitchen suite, through lounge, conservatory, first floor family bathroom, loft room used as office, double glazing, gas central heating, off street parking for two cars & is walking distance to Edmonton Green shopping centre & BR station.



Shortlands Close, N18, £315,000, F/H
Smart Move is delighted to present this extremely large, very good conditioned three bedroom semi detached house located in a much sought after cul-de-sac in the Westernham Estate on the Edmonton Palmers Green borders. Benefiting from off street parking for two cars, first floor bathroom, extra loft room, central heating, double glazing, extended kitchen/dining room & is close proximity to the A10. Internal viewing is highly recommended!



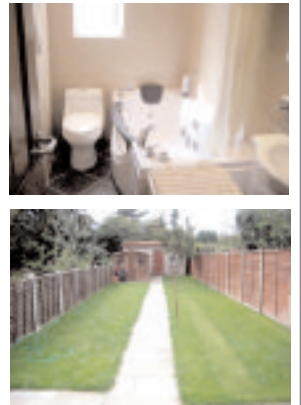
Bertram Road, EN1, £239,995, F/H

Smart Move is pleased to offer this large three bedroom Victorian terrace house in need of modernisation located in Enfield Town just off Southbury Road. Benefiting from 60ft garden, three double bedrooms, ground floor bathroom & through lounge. Ideal investment or first time buy!



Anglesey Road, EN3, £285,000, F/H

Smart Move is delighted to offer this large extended newly refurbished immaculate three bedroom semi detached house located in a very quiet road in Ponders End. Boasting: Brand new kitchen, new ground floor family bathroom, double glazing, central heating, large through lounge, off street parking for four cars, 70ft garden & is next to Southbury Br station & High St. First to see will buy!



For Sale | Ponders End Branch EN3 020 8345 5444



Celadon Close, EN3, £124,995, L/H
Smart Move is delighted to present this very large good conditioned ground floor one bedroom apartment in Enfield. The property boasts parking, economy 7 heating, no stamp duty, and intercom & is next to Brimsdown BR station. Viewing is highly recommended.



Cherry Road, EN3, £139,995, L/H
Smart Move is delighted to present this very large, two bedroom ground floor split level maisonette located in Enfield. Boasting: Central heating, walking distance to high street amenities and transport, two double bedrooms, large first floor bathroom & long lease. Internal viewing is highly recommended.



Turkey Street, EN1, £149,995, L/H
Smart Move is delighted to present this excellently presented new build one bedroom first floor flat located in Enfield. Boasting: long lease, double glazing, spacious rooms, off street parking, private bike shed, communal gardens & is next to Turkey St BR station. Internal viewing highly recommended!



Croyland Road, N9, £225,000, F/H
Smart Move is delighted to present this large three bedroom Victorian terrace house located just off the Hertford in Edmonton. The property boasts: Three large bedrooms, downstairs family bathroom & GCH. Viewing is highly recommended!



Beaconsfield Road, N9, £165,000, L/H
Smart Move is delighted to offer this large three bedroom split level maisonette located in Edmonton Green. Boasting: Central Heating, double glazing, £1,250 potential rental income, large bedrooms, long lease & close to Edmonton Green BR station & shopping centre. Ideal rental investment!



Lincoln Way, EN1, £259,995, F/H
Smart Move is pleased to offer this three bedroom semi detached house located in a very quiet cul-de-sac in Enfield. Benefiting from off street parking, garage via side access, double glazing, gas central heating, 80ft garden, ground floor bathroom, kitchen/dining room & is close to Southbury BR Station & A10.



Osborne Road, EN3, £349,995, F/H
Smart Move is delighted to present this extremely large, newly refurbished four bedroom semi detached Edwardian house located in a very quiet road in Enfield. Boasting: Off street parking, through lounge, separate dining room, large kitchen, first floor family bathroom, large garden & is walking distance to BR station.



High Street, EN3, £1.6m, F/H
A substantial 3 storey detached public house for sale on a busy 'A' road position with great development opportunity. Currently vacant this unique property has a site area of 16,000 sq ft (0.36 Acres) & consists of two self contained flats on 1st and 2nd floors along with planning consent for three retail units & parking for 20 cars.



Felxstowe Road, N9, £209,995, F/H
Smart Move is pleased to offer three bedroom Victorian property in need of modernisation located in Edmonton Green. Benefiting from two reception rooms, double glazing, 65ft garden, three double bedrooms, and ground floor bathroom & is close to Edmonton Green shopping centre & BR station. Viewing is highly essential!



Exeter Road, N9, £269,995, F/H
Smart Move is delighted to present this unique, excellent condition three bedroom semi detached property located in a very desirable road in Edmonton. Benefiting from: side garage, off street parking, large kitchen, through lounge, first floor bedroom, potential to build above garage (STP), central heating, double glazing & is close to Edmonton Green Shopping Centre & BR station. Offered chain free, this property is a must view!

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SALES

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THREE/FOUR BEDROOM EXTENDED EDMONTON N18

£269,995



Three/Four bedroom extended mid terrace house. Two reception rooms, Three bedrooms, Loft room. Gas central heating (untested), lean to. Chain Free, Ideal for buy to let.

TWO BEDROOM FLAT ENFIELD EN3

Reduced to £169,000



Purpose Built Ground Floor two bedroom Flat on the popular Enfield Island Village benefiting from a Fitted Kitchen, Large lounge, Fitted bathroom, Chain Free, Ideal buy to let, Entryphone system Leasehold, viewings via Angels Estate Agents

THREE/FOUR BEDROOM EXTENDED ENFIELD EN3

£304,995



PERMISSION TO EXTEND. Three/Four Bedroom semi detached house in a CUL DE SAC off Green Street. Three reception rooms. PLANNING PERMISSION to extend into a FOUR BEDROOM HOUSE, to the front and above. Recently redecorated. Double glazed, gas central heating, LAMINATED FLOORING, fitted kitchen & breakfast bar. A four piece bathroom suite with UNDERFLOOR HEATING & JACUZZI. Off street parking for three cars. Close to amenities & transport. Plans in the office.

THREE BEDROOM SEMI DETACHED ENFIELD EN3

Reduced to £299,995



INVESTORS & DEVELOPERS: Three bedroom semi detached house close to Southbury Rd station. POTENTIAL for a TWO BEDROOM HOUSE (STPP PLANS SUBMITTED TO THE COUNCIL). Three bedrooms, two reception rooms and a first floor bathroom. LAND TO THE SIDE for development. Close to amenities and transport. Plans in office.

GARDEN MAISONETTE ENFIELD EN3

£164,995



Two bedroom first floor GARDEN maisonette close to Ponders End High Street. Features GAS CENTRAL HEATING, part double glazing and rear garden. Benefits from a 950 YEAR LEASE. NO MAINTAINANCE CHARGES. Close to amenities & transport.

MID TERRACE HOUSE EDMONTON N9

£219,995



Two bedroom 1930's mid terrace house in the "LATYMER ESTATE". Features include a thru lounge, double glazing, gas central heating, OFF STREET PARKING, downstairs shower room, 1/2 mile of EDMONTON GREEN STATION. Close to amenities & transport.

FOUR BEDROOM MID TERRACE ENFIELD EN1

£269,995



A large four bedroom mid terraced 1930's style house with features to include fitted kitchen, through lounge, off street parking, three piece bathroom suite, garden, double glazing, garden.

THREE BEDROOM BUNGALOW ENFIELD EN2

£625,000



THREE BEDROOM BUNGALOW in the Crews Hill area. Off street parking, GARAGE TO THE SIDE, gas central heating & double glazing & a 110' GARDEN. Well maintained. Ideal for an investor or homeowner to make a home of their own. Potential to extend (stpp).

SPLIT LEVEL MAISONETTE ENFIELD EN3

£169,995



Three bedroom split level maisonette close to PONDERS END STATION. Currently rented on a A.S.T contract at £975 pcm. Benefits from LAMINATED FLOORING, GAS CENTRAL HEATING & DOUBLE GLAZING. Well maintained by current tenants. CHAIN FREE.

LETTINGS

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LUXURY APARTMENT ENFIELD TOWN EN2

£1,300 pcm



Two bedroom 6th floor, LUXURY apartment to rent in Tower Point, Enfield Town. Close to TRANSPORT and AMENITIES, benefiting from LARGE BALCONY, ALLOCATED PARKING, MODERN FIXTURES and FITTINGS, LAMINATE FLOORING and EN-SUITE bathroom. DSS welcome.

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TOP LETTING
AGENT**

THREE BEDROOM HOUSE ENFIELD EN3

£1,300 PCM



Three bedroom house in Enfield, benefiting from 2 reception rooms, modern fitted kitchen, large rear garden. The property is in excellent condition and is situated within easy access to local amenities. DSS welcome with guarantor.

THREE BEDROOM HOUSE WALTHAM CROSS EN8

£1,300 PCM



Three bedroom house close to THEOBALDS PARK STATION. Features include KITCHEN/DINER, OFF STREET PARKING, THROUGH LOUNGE & FITTED WARDROBES. Unfurnished. Close to amenities & transport. AVAILABLE NOW.

TWO BEDROOM HOUSE BRIMSDOWN EN3

£1,100 PCM



Two bedroom house, close to Brimsdown Station. Two double bedrooms laminated flooring, double glazed, gas central heating. Furnished, good size garden Available end of March.

THREE BEDROOM MASONETTE ENFIELD EN3

£1,250 PCM



Three Bedroom First Floor Maisonette close to Enfield Lock Station. Fitted Kitchen, Downstairs W/C, three Piece Bathroom Suite, Double Glazing, Gas Central Heating, Allocated Parking. Available end of March.

ONE BEDROOM FLAT WALTHAM CROSS EN8

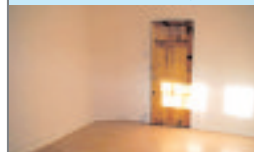
£750 PCM



Angels are pleased to offer To Let this purpose built One bedroom flat in the Waltham Cross area. Features include fitted kitchen double bedroom bathroom and lounge. Available March.

GROUND FLOOR GARDEN FLAT TOTTENHAM N17

£1,000 PCM



Two bedroom ground floor GARDEN FLAT close to BRUCE GROVE STATION. Offered part furnished. DSS considered with guarantors. Close to amenities & transport. Available in February.

FOUR BEDROOM TOWN HOUSE ENFIELD LOCK EN3

£1,600 PCM



Large Four Bedroom Town House, Enfield Island Village Area, Large Lounge, Fitted Kitchen/Diner, Four Double Bedrooms, One With En-suite, Gas Central Heating, Large Garden, DSS Considered. Available February.



ESTATE AGENTS AND VALUERS

Tel: Cuffley 01707 872111 • Tel: Cheshunt 01992 621116

24 STATION ROAD, CUFFLEY, HERTS EN6 4HT

56 TURNERS HILL, CHESHUNT, HERTS EN8 8LQ



CHESHUNT
A most attractive 3 bedroom semi detached house situated in the North of Cheshunt close to Local schools, Brookfield Farm shopping centre & Lea Valley Park yet within easy reach of A10/M25 Motorway Jct 6 & Cheshunt British Rail with fast trains to Tottenham Hale & Liverpool St. DETACHED GARAGE, THROUGH LOUNGE/DINING ROOM, BREAKFAST ROOM, KITCHEN, UTILITY ROOM, W.C., SHOWER ROOM, BATHROOM.
PRICE:- £274,995 APPLY CHESHUNT



NORTHAW
Standing on a generous sized plot a newly refurbished Halls-adjacent terrace house with Gas Heating and Double Glazing, Through Living Room, Newly fitted Kitchen/Breakfast Room, 2 Bedrooms, Luxury Bathroom, Own front drive.
PRICE:- £315,000 APPLY CUFFLEY



WEST CHESHUNT
Situating in a popular road close to open countryside, an attractive 3 bedroom Semi-Detached House with Gas Heating and Double Glazing, Attached Garage with Own Drive with potential to extend being offered for sale with no upward chain.
PRICE:- £369,950 APPLY CHESHUNT



CUFFLEY
Situating in a popular Walk close to King George V Playing Fields, a nicely extended Semi-Detached House with Gas Heating and Double Glazing, Cloakroom, 'L' shaped Lounge, Dining Room, Family Room, Kitchen, 3 Bedrooms, Bathroom, Garage, West Facing Garden.
PRICE:- £389,950 APPLY CUFFLEY



CUFFLEY
Backing onto Woods, a nicely extended Family Sized Detached House with Gas Heating and Double Glazing, Lounge, Dining Room, Fitted Kitchen, 4 Bedrooms, Bathroom and Shower Room, Garage with Own Drive.
PRICE:- £415,000 APPLY CUFFLEY



CUFFLEY
Within a few minutes walk of the Village Shops, a Detached Chalet Styled House with Gas Heating and Double Glazing, Living Room, Kitchen/Breakfast Room, 4 Bedrooms, Study, Cloakroom, Garage with Own Drive, Generous Rear Garden.
PRICE:- £465,000 APPLY CUFFLEY



CUFFLEY
A family sized Detached Bungalow standing on a prominent Corner Plot. Gas Heating and Double Glazing, Lounge, Dining Room, Breakfast Room, Kitchen, 4 Bedrooms, Family Bathroom, En-suite Cloakroom, Double Garage, Car Port, Utility Room.
PRICE:- £499,950 APPLY CUFFLEY



CUFFLEY
A deceptively spacious Family Sized Detached Character House standing on a generous sized plot. Gas heating and double glazing, 26' lounge, fitted kitchen with Dining Room off, Study/Bedroom 5, 4 bedrooms, 2 bathrooms, Jack and Jill shower room, En suite shower room and cloakroom, Attached garage with own drive. About 100' rear garden with lovely views towards Goffs Oak.
PRICE:- £574,950 APPLY CUFFLEY



CUFFLEY
A spacious and tastefully extended Detached House on a fine corner plot. Gas heating and double glazing, Lounge, Dining room, Fitted kitchen, Breakfast room, Conservatory, 5 bedrooms, 2 bathrooms and shower room. Large integral garage. Neat gardens.
PRICE:- £715,000 APPLY CUFFLEY



CUFFLEY
A fabulous and nicely extended Detached Family Sized House with Gas Heating and Double Glazing, Cloakroom, Living Room, Kitchen/Family Room, Utility Room, Games Room, 4 Bedrooms, En-suite Shower Room, Family Bathroom, Garage with Carriage Drive, Nice Gardens.
PRICE:- £875,000 APPLY CUFFLEY



CUFFLEY - AVAILABLE EARLY MARCH - GROUND FLOOR LUXURY 2 BEDROOMED FLAT - £850. PCM



Burston & Whay

INDEPENDENT ESTATE AGENTS



www.burstonwhay.co.uk

info@burstonwhay.co.uk



VILLAGE ROAD
An extremely spacious First Floor Balcony Flat being sold chain free. Situated in a prime location, walking distance of Enfield Town. Long hall, 22' living room with West Facing balcony, kitchen, 2 double bedrooms, bathroom, sep WC. Garage. Attractive and well stocked communal gardens. Open to offer.
£234,950



BUSH HILL PARK
An attractive and well proportioned Terraced House being sold CHAIN-FREE in a popular road, minutes from buses, 'Sainsburys Local', Bush Hill Park Station and walking distance of Raglan School. Gas central heating, double glazing, hall, 30' lounge/diner, modern kitchen, breakfast/utility room, 3 bedrooms, good bathroom/WC. Private garden.
£254,950



BUSH HILL PARK
An attractive 1930's built Terraced House in a popular cul-de-sac close to new 'Sainsbury's Local Store' and station. Requires some modernisation and redecoration. Double glazed front windows. Hall, 2 reception rooms, kitchen, 3 bedrooms, bathroom/WC. Parking for 2 cars. Pleasant 67' rear garden. Refitted roof.
£309,500



BUSH HILL PARK
A beautifully extended Terraced Property in excellent order in a popular road close to station/shops and walking distance of Raglan School. Gas heating, double glazing, long hall, 2 reception rooms, 16' kitchen/breakfast room, shower room, 3 bedrooms, bathroom/wc. Private South-facing garden. Parking for 2 cars.
£325,500



BUSH HILL PARK.
An attractive Older-Style Semi which although modernised still retains its original character and offers very spacious accommodation. Gas heating, mostly double glazed, hall, 2 reception rooms, a 24' kitchen/breakfast room, 4 bedrooms, bathroom/WC. Wide front garden (60'). Situated minutes from station, buses and shops.
£415,000



BUSH HILL PARK.
A beautifully presented 'Harston' built house with large side extension, situated in a quiet road close to Raglan School, 'Bury Lodge Park', shops, walking distance of station. Double glazed, gas central heating, hall, cloakroom, lounge/diner 22', sitting room 17', study, fitted kitchen, 3 bedrooms, superb bath/shower room. Private garden in excess of 50'. Parking for several vehicles.
£417,500



BUSH HILL PARK.
An extremely attractive Semi-Detached Chalet Bungalow situated in a quiet location near Raglan School, minutes from station, family size accommodation. Reception hall, inner hall, 3 reception rooms, 24' kitchen/breakfast room, conservatory, 3 / 4 bedrooms, 2 bathrooms, gas central heating, mostly double glazed. Wide garage to own carriage driveway. Garden approximately 75' x 45' with detached cabin housing indoor swimming pool. Must be viewed.
£499,950

7 QUEEN ANNE'S PLACE, BUSH HILL PARK, ENFIELD T: 020 8360 0600

Church's

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Sales

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SEVERN DRIVE £257,500

Extended three bedroom end of terrace home located West Side of the Great Cambridge Road (A10), featuring two receptions, upstairs bathroom and dbl garage. Keys held Viewings recommended.



LINCOLN WAY, EN1 £249,995



This three bedroom mid terrace family home which has been total refurbished, featuring modern kitchen and bathroom, double glazing, central heating and close to amenities.

CREST DRIVE £179,995



This two bedroom first floor maisonette located off the Hertford Road, featuring double bedrooms, gas central heating, double glazing and garage. Viewings recommended.



NAGS HEAD ROAD, EN3 £224,995



A three bedroom mid terrace property located close to public transport and shopping facilities, featuring two reception rooms, double glazing and gas central heating..

ARNOLD AVENUE WEST £319,995



Five bedrooms extended double fronted family home, featuring kitchen/diner, utility room, 20ft lounge, bathroom, shower room, and located within a quiet cul-de-sac, access to rail. Recommended viewings.

SEDCOTE ROAD £339,500



A four bedroom extended double fronted family home in good decorative order, featuring three receptions, kitchen/breakfast room, and two toilets. The property is close to Ponders End rail and amenities. Viewings Recommended.

GOUGH ROAD, EN1 £226,995



Larger than average two bedroom plus loft room mid terrace tunnel linked family home, featuring extended kitchen, downstairs cloakroom, upstairs bathroom and 20ft lounge. Close to amenities. Recommend viewing.

DERBY ROAD £249,500



In our opinion this larger than average three bedroom mid terrace family home, featuring downstairs cloakroom, upstairs bathroom and close to all amenities.

GREAT CAMBRIDGE ROAD £249,800



This three bedroom terrace property situated on the slip road of Great Cambridge Road, featuring through lounge, conservatory, kitchen/diner and upstairs bathroom. Viewings recommended.

ROSEWOOD DRIVE, CREWS HILL, EN2 £649,950



This exceptional four bedroom bay fronted detached family home, featuring luxury fitted kitchen and bathroom, indoor swimming pool and off street parking. Viewings recommended.

KINGSFIELD DRIVE £299,995



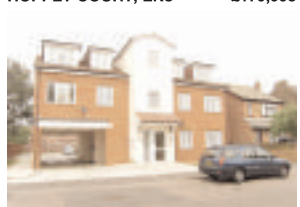
Larger than average three bedroom extended semi detached home, sought after location, two toilets and kitchen dinner, highly recommended. In our opinion excellent buy.

RUSSELL ROAD, EN1 £269,995



This two bedroom semi detached bungalow on the West of the A10, featuring double glazing, gas central heating, off street parking and garage to rear. Viewings recommended.

HOPPET COURT, EN8 £179,995



This two double bedroom ground floor modern apartment within this small and exclusive development, featuring long lease, two toilets, own patio/garden and parking. Recommend viewings.

TURKEY STREET O.I.E.O £249,995



This unusual two bedroom end of terrace older style cottage with plot to the side, featuring modern kitchen, conservatory, garage and close to amenities.



THE RANCH HOUSE £489,995

This four bedroom detached family home in excellent decorative order, located on Hammond Street Road/Goff's Oak borders, featuring fitted kitchen, three toilets, garage and close to amenities. Viewings highly recommended.



More properties urgently required in the following areas:

Cheshunt, Waltham Cross, Enfield, Ponders End, Bush Hill Park, Enfield Town, Edmonton, Tottenham



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CELADON CLOSE, ENFIELD £800PCM



A one bedroom top floor flat situated within walking distance to public transport, featuring loft storage, close to local amenities and DSS considered.

THE BRIGHTSIDE

£1,100 PCM



Available to rent this two bedroom mid terrace property situated in a quiet location, featuring double glazing, gas central heating and garden to rear.

CHESTERFIELD ROAD

£1,600 PCM



A four bedroom end of terrace property located close to local amenities and school, DSS considered, please call for further details.

HOLLY ROAD

£1,250 PCM



MORE WANTED

CARTERHATCH ROAD

£1,300 PCM



LET IN 24 HOURS

CANTREL LODGE

£800 PCM



**URGENTLY
REQUIRED MORE**



SCOTLAND GREEN ROAD

£1,300 PCM

Three bedrooms extended kitchen/diner, recently decorative throughout, two receptions, first floor bathroom and located within reach of Ponders End amenities. DSS considered, available now. Keys held.



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Estate & Letting Agents



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Edmonton

2



- Two Bedrooms
- First Floor
- Newly Refurbished
- Fully Furnished
- Laminate Flooring
- Close to Edmonton Green

Price: £995 pcm

Edmonton

2



- Two Bedrooms
- Newly Refurbished
- GCH
- Front Drive & Garden
- Fully Carpeted
- Fully Furnished

Price: £1,000 pcm

Edmonton

2



- 2 Bedrooms
- GCH
- Double Glazed
- Fully Carpeted
- Furnished
- Newly Refurbished

Price: £1,000 pcm

**TO LET
FOR SALE**

Edmonton

3

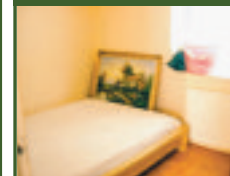


- Three Bedrooms
- Fitted Kitchen
- Downstairs Bathroom
- GCH
- Garden
- Ideal Investment

Price: £219,995

Edmonton

3



- Three Bedrooms
- Well Maintained
- Double Glazed
- Laminate Flooring
- Jacuzzi Bath
- Ideal Investment

Price: £179,995

Finchley

8



- 8 Bedrooms
- 7 En Suite
- Bathrooms
- Double Glazed-
- Laminate Flooring
- OSP for 2 Cars
- Garden

Price: £849,995

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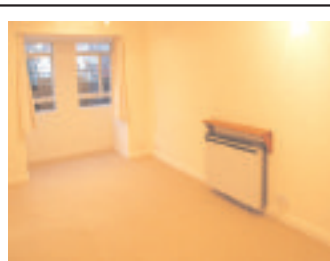
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STENNETT PROPERTIES



TO LET Bournside Crescent, Southgate, N14 £923pcm
One bedroom, large lounge, bath/WC, fitted kitchen. Gas central heating, double glazed, parking. Ideally located near Southgate tube and local amenities. Unfurnished. Available now.



FOR SALE Chase Road, Southgate, N14 £249,000 L/H
Two double bedrooms, 21ft lounge, fitted kitchen, bath/WC, double glazed, off street parking, communal garden. Easy access Southgate/Oakwood tube and local amenities. No chain. Sole Agents.



FOR SALE The Wells, Southgate, N14 £310,000 F/H
Ideal for commuting. Located in the heart of Southgate. This two bed cottage is situated within walking distance of Southgate tube and local amenities. No Chain.



COMING SOON Southgate N14 £360,000 F/H
Three bed terraced house, two interconnecting reception rooms, upstairs bath/WC, down stairs WC, GCH, double glazed, garden. Good primary and secondary schools near by. Needs work. No chain. Sole Agents



SOLD Chase Road, Southgate, N14 £275,000 F/H
Two bed end of terrace house close to Southgate tube. Two bed, loft room, through lounge, separate kitchen, study/office, upstairs bathroom, downstairs WC, front and rear garden.

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AWAITING
CLIENTS**



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Hoddesdon £699,995



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Hoddesdon £159,995



A GROUND FLOOR FLAT in good condition & close to Hoddesdon Town Centre with GAS CENTRAL HEATING to Hall, Lounge, Kitchen, Two Bedrooms, Bathroom/WC, Communal Gardens.

Hoddesdon £239,995



An internal viewing is advised with this well proportioned and much improved family style home situated north of town centre close to local shops and JOHN WARNER SCHOOL. Offering: Lounge, Goodsize kitchen/dining room, 3 beds, Attractive bathroom/wc, Southerly aspect rear garden.



Hoddesdon £235,000



A staggered property, close to countryside & Town Centre. Hall, Lounge, Kitchen/Dining Room, Three Bedrooms, Bathroom/WC, Gardens, Off street parking. Gas C/H & Double Glazing.

Hoddesdon £254,995



SUPERBLY REFURBISHED DETACHED BUNGALOW backing onto New River, Offering Lounge/Dining Room, New Kitchen, Two Bedrooms, New Bathroom/WC, Own Drive with ample Parking, South facing Gardens.



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- Site to be sold with Vacant Possession
- Guide Price: £600,000

For further information
please contact:

James Chell
+44 (0)20 7399 5104
james.chell@eu.jll.com

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PONDERS END, EN3

A good sized much improved home, 2 double bedrooms, 24ft lounge, 13ft kitchen, 13ft bathroom.

£209,950



EDMONTON N9

A two bedroom semi detached bungalow, gas central heating, garage, off street parking, chain free.

£229,995



EDMONTON N18

A much improved 2 bed semi detached house, 14' kitchen/diner, luxury bath/shower room (up), 20' x 14' outbuilding Chain Free.

£229,995 Offers Considered



CHINGFORD, E4

Enlarged and refurbished 4 bed semi detached residence, 26' lounge, 27' kitchen/diner, 15' reception, two shower rooms, and quality fittings.

£354,950



EDMONTON N9

Just redecorated, a purpose built 2nd floor one bed flat.

Chain free

£115,000

LETTINGS

WANTED

3 bed house in Edmonton for a tenant of ours currently in a 2 bed managed by us since 2004 EDMONTON N18

A large, split level 3 bed flat, bathroom and cloakroom with WC £1,250pcm

LANDLORDS WANTED

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£290,000.

All offers considered.

VENDORS WANTED

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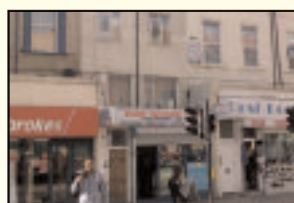
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**INVESTMENT
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Freehold**



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subject to terms and conditions

N2
EAST FINCHLEY

N2
EAST FINCHLEY

N2
EAST FINCHLEY

The lifestyle starts here

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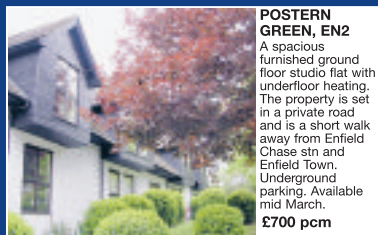
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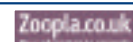
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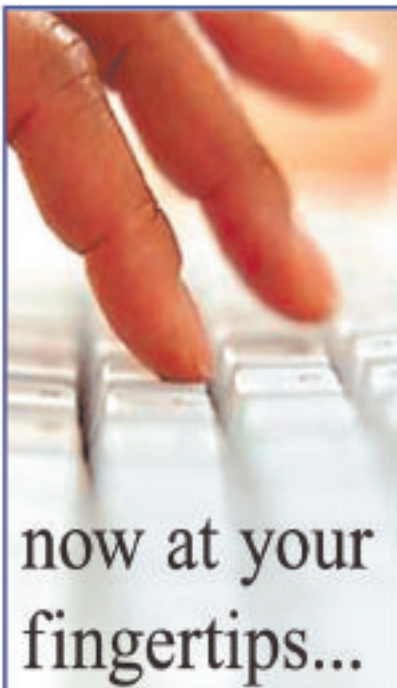
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WARRANTY

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2 door, 03, 70,000
miles, Silver, vgc, long
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07525 769 510
01992 767 602

**AUDI A4
CABRIOLET 2.6**
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MoT Sept 2012, Tax March
2012, Silver, leather interior,
alloys, in very good condition.
£1,000 ONO
07432 654 772

FORD FIESTA
1.25 ZETEC 2001
51 Reg, 16V, A/C, 5 door,
MoT 18th April, 2012,
40,678 miles.
£1,600
020 8292 5244
07734 436 112

**TOYOTA
STARLIGHT 1.3**
M Reg, FSH, MoT August
2012, 72k miles, no power
steering, 1 owner from
new. Drives well.
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Tel: 07908 667 443

**RENAULT
SCENIC 1.6 VVT**
2006, Auto, MoT Sept 2012,
taxed til Jun 2012, Silver,
full service history, 48k miles,
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07857 545 174

**PEUGEOT
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virtually brand new
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Bargain.
£5,950
07973 873 882

**FORD MONDEO
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2002, 5dr, hatch, Blue,
95k, air con, 3 owners,
MoT till July 2012
£950
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(Finchley)

**CITROEN
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2004, 5dr, metallic
silver, 47k miles,
MOT & tax til Jan '12
£2,500
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plate, Silver, only
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Tax 07/12,
£3600 ono
0791 92 71 406

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1.2L**
Red, 2001, 34,000
miles, MoT to June.
£1,200
020 8372 1325
07906 488 606

**1999 BLUE SKODA
GT ESTATE**
Gd service history,
MOT til Nov '12,
low mileage
£1800 ono
07861 463 819

BMW 318i
4 door, Saloon, 1995.
Red, petrol, auto, abs-
dsc, leather seats,
sunroof, sigma alarm,
CD/radio.
£1,000
07791 880 295

**HONDA
ACCORD 1.8**
5 door, 2001, Silver,
ew, cl, ps, ac, MoT.
£990
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2007 (57) VAUXHALL ASTRA 2.0 DTI CONVERTIBLE DESIGN,
Black, **Diesel** 64,000 miles, a/c, alloys **£6,150**

2008 (58) MITSUBISHI COLT 1.5 C22, Diesel Automatic
Blue, 10,000 miles, Blue, a/c, e/w, alloys, PAS, remote locking. **£5,550**

2005 (05) VAUXHALL ASTRA 1.6 CLUB ESTATE, 5 door, 40,000
miles, Silver, e/windows, PAS, alloys **£3,995**

2001 (51) VOLKSWAGEN GOLF 1.6 SE, Automatic 33,000
miles, a/c, e/w, PAS, Green **£2,995**

2004 (54) PEUGEOT 307 1.6 S, 5 door, Automatic Blue, 31,000
miles, alloys, a/c **£2,995**

2003 (53) PEUGEOT 206 1.4 LX, 3 door, Blue, a/c, 32,000 miles **£2,450**

2001 (Y) NISSAN MICRA 1.05, 3 door, 28,000 miles, blue **£1,625**
PAS

★ ★ REDUCED ★ ★

2007 (07) VAUXHALL ASTRA 1.4 ENERGY, 5 door, Hatchback,
46,000 miles, grey metallic, a/c, 2 owners **£4,395**

2002 (52) VAUXHALL ASTRA 1.6 CLUB, Automatic 5 door,
52,000 miles, owners, a/c **£1,995**

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KOMPRESSOR COUPE**
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good condition, Manual,
Silver, V Reg 2000.
£1800 ono
07931 691 833

**HONDA ACCORD
V-TECH S**
W Reg, 2000, 5dr, 1850cc,
manual, petrol, Blue, 103k,
em, ac, ps, cl, e/f/w,
radio/cd, MoT Oct 2012,
Tax April 2012.
£795
07985 410 505

Audi A4 Diesel
V Reg, Silver, Tax till
Feb 2012, FSH from
new, 80,000 miles
£2,800
07970 523 687

FORD KA
V Reg 1999, Black, 3dr,
hatchback, 79,498 miles.
1 years MoT, 6 months tax,
2 previous owners.
Runs and drives smoothly
£895 ono
07733 644 027

**RENAULT
MEGANE**
2004, 16v, 3 door
hatchback, Black, 6
months tax and MoT.
£2,200
07944 666 032

**FORD FOCUS 1.8
ZETEC 2007**
Climate Pack, air con, heated
front screen/mirrors. Metallic
Red, Panther Black interior.
Tax & MoT, 37,000 miles,
service history
£4,950
07725 563 848

KIA SEDONA GSX
7 Seater, Champagne
metallic, 2001, Y Plate,
1 owner, 132k with fish, MoT
& tax April, new diesel pump
& front discs, high spec &
fold down rear seat.
£1,395 ono
020 8360 5112

**CITROEN C3
1.4i SX**
5dr, 2006, Blue, 14,900k,
MoT, tax for 11 months,
ps, ew, cl, CD player,
excellent condition, very
clean car.
£4,600 ono
07969 238 276

FIAT PUNTO 1.2 ELX 8V
3dr, HB, 2001, Y Reg, 5 speed manual, Silver,
1 owner from new, 90k with service history, MoT
July 2012, PS, CL, EW, front & rear colour coded
bumpers, cheap to run, cheap on insurance, very
clean in & out, drives well.
£895
07957 565 841 (T)

**1999 V Reg
PEUGEOT 106
MOT & Taxed**
Silver, VGC, manual
£800 ono
07950 750 882

**NISSAN MICRA
1.2 URBIS
LIMITED EDITION**
2006, 5 door, 1 owner, fish,
air con, alloys, e/windows,
MoT July 2012,
£3450
020 8366 7177

**AUDI A4 1.8 TURBO
LIMITED EDITION**
China Blue, FSH,
52,600 miles,
2 owners, long MoT,
ABS, climate control,
a/c, good condition
£5,800 ono
020 8360 5788

VAUXHALL VECTRA DIRECT DESIGN
Auto, petrol, 05 Reg,
52k miles, FSH, AC, CC,
CD multi-changer, MoT
& Tax, very reliable.
£2,700
07712 190 257

**PEUGEOT 306
1360cc**
T Reg, 1999, 4 dr,
Silver, MoT & Tax,
alloys, cl, ew, ac,
£800 ono
07957 933 225

**AUDI A3 2.0 TDI
SPORT BACK**
2006, 5dr Sport, 6 speed
manual, 1 owner, FSH, AC, alloy
wheels, Bose Sound System,
as new, tax & MoT May 2012
£7,950
020 8351 4953

HYUNDAI ACCENT
Auto, 1997 P Reg,
98k miles, red, 4dr,
MOT til Feb '12 &
Tax til Oct '11
£500 ono
07984 068 720

Toyota Yaris VVT-i 2 Automatic 2004
39000 miles, Full Service
History, MoT May, Taxed
August 2012, 998cc,
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07872 493 324 / 01707 657 840



Mercedes 280SL

Red convertible, 1984, excellent example, only 86,000 genuine miles, taxed/MoT, private plate, private sale

£8950 ONO

07917 602 843

FORD FOCUS 1.8 DC1 SPORT

01 Reg, diesel, CL, EW, AC, PAS, manual, 87k miles, radio/CD, white with red flame deco.

1 years MOT & tax, just serviced.

£1,350 ono 020 8351 8377

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£2,600 ono

07545 874 842

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£5,000

07590 287 718

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£4,600 ono

07930 550 384

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V-Reg 2007

Only 13,000 miles, 5 door, MoT and tax until October 2012, lady owner.

£4,600 ono

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MGF 1.8 2001

MoT, very good condition, Blue, 48,000 miles, CD player, em/ew, c/locking, power steering

£1,250 ono

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07960 817 961

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Very spacious car.

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07949 778 352

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£7,450

07956 417 858

TOYOTA COROLLA 2002 VWT-i T3



1600cc
5dr, manual, petrol, hatchback, 59,000 miles, e/w, e/m, airbag, a/c, CD, alloy wheels, one previous owner

£2,950 ovno

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07946 838 378

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52k miles, 07 Reg, MoT 03/12, Tax 02/12, 3dr hatchback, high spec, 179/400, 1 owner.

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PEUGEOT 207 1.4 S PETROL

3 dr, 2006, 56 Reg, Grey, 38,000 miles, fsh, tax Aug 2011, MoT Oct 2011, ps, cl, ew.

£4,099 ono

07731 539 813



VAUXHALL TIGRA 1.8 SPORT CONVERTIBLE 2005



Black leather heated seats, AC, CD, alloys, iPod, Parrot H/Free, MoT Sept 2012, FSH, cambelt changed, immaculate condition.

£3,800

020 8367 1647

07545 976 981

Enfield

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07854 728 678

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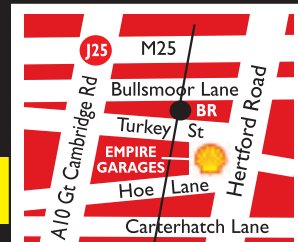
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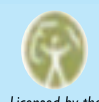
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Public Notices

ARNOS GROVE, N14 - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 3478.

1. NOTICE IS HEREBY GIVEN that in order to facilitate essential carriageway resurfacing works in Arnos Grove, N14, the Council of the London Borough of Enfield propose to make the Enfield (Arnos Grove, N14) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984.
2. The effect of the Order would be to prohibit vehicles from entering or proceeding in Arnos Grove, N14, at its junction with Langside Crescent and Morton Crescent, N14, in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions referred to in paragraph 2 above would not apply to works vehicles, or if the works allow, to police or emergency services vehicles.
4. The prohibitions would come into operation on the 2nd March 2012 and would continue in force until the 13th March 2012 or until such time as the works have been completed.
5. Whilst the prohibitions remain in force the alternative route would be via Langside Crescent, Forestdale, Morton Way and vice versa.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



BURLEIGH WAY, ENFIELD, EN2 - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 2127 or 2129.

1. NOTICE IS HEREBY GIVEN that in order to facilitate resurfacing works in Burleigh Way, EN2 the Council of the London Borough of Enfield have made Enfield (Burleigh Way, EN2) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984. [Note: this Order continues the effect of a Notice dated 20th February 2012 given under section 14(2) of the said Act].
2. The effect of the Order will be to prohibit vehicles from entering or proceeding in Burleigh Way, EN2, at its junction with Church Street, in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions will come into operation on the 20th February 2012 and will continue in force until the 9th April 2012 or until such time as the works have been completed.
4. Whilst the prohibitions remain in force there is no alternative route.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



BROOMFIELD AVENUE, NORTH OF BROOMFIELD LANE, N13 - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 3478.

1. NOTICE IS HEREBY GIVEN that in order to facilitate essential carriageway resurfacing works in Broomfield Avenue, North of Broomfield Lane, N13, the Council of the London Borough of Enfield propose to make the Enfield (Broomfield Avenue, N13) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984.
2. The effect of the Order would be to prohibit vehicles from entering or proceeding in Broomfield Avenue, N13 at its junction with Broomfield Lane and Aldermans Hill, N13, in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions referred to in paragraph 2 above would not apply to works vehicles, or if the works allow, to police or emergency services vehicles.
4. The prohibitions would come into operation on the 5th March 2012 and would continue in force until the 9th March 2012 or until such time as the works have been completed.
5. Whilst the prohibitions remain in force there is no alternative route.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



SOUTHBURY ROAD, EN3 - TEMPORARY RESTRICTION OF PEDESTRIANS AND CYCLISTS

Further information may be obtained by telephoning Highways Services on 020 8379 2127.

1. NOTICE IS HEREBY GIVEN that in order to facilitate essential excavation works being carried out by U.K. Power Networks, the Council of the London Borough of Enfield propose to make the Enfield (Southbury Road, EN3) (Temporary Restriction of Pedestrians and Cyclists) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984.
2. The effect of the Order would be to prohibit pedestrians and cyclists from proceeding on the footway of Southbury Road, EN3, adjacent to Tesco stores for approximately 20 metres, in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions referred to in paragraph 2 above would not apply to works vehicles, or if the works allow, to police or emergency services vehicles.
4. The prohibitions would come into operation on the 4th March 2012 and would continue in force until the 11th March 2012 or until such time as the works have been completed.
5. Whilst the prohibitions remain in force the alternative route would be via the Cycle Lane and Cyclists would be required to dismount and walk.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



CONDITIONS OF ACCEPTANCE FOR ALL ADVERTISEMENTS

Orders are accepted by the Publishers subject to the Standard Conditions agreed between the Newspaper Society and the Institute of Practitioners in Advertising. Save that:

1. Advertisements are accepted on the conditions that (a) descriptions relating to goods are accurate and in no way contravene the provisions of the Trade Descriptions Act 1968, and the Fair Trading Act 1973, and (b) the copy complies with the British Code of Advertising Practice. Advertisements offering credit or hire facilities must conform to the Consumer Credit (Advertisements) Regulations 1980.

2. 'Classified' Advertisers offering goods or service of a business, commercial or trade nature will, at the discretion of the Publishers, be deemed 'Trade Advertisers', and as such, must include their names in advertisements. A telephone number is an optional addition to these requirements and not an alternative.

To comply with the Business Advertisements (Disclosure) Order 1977, Trade Advertisers must make it clear that they are selling goods in the course of business either by content, format, size or place of the advertisement or by including words such as 'trade', 'dealer', 'agent', 'wholesaler', '(T)' etc. in the advertisement.

3. The Publishers accept no liability whatsoever for any loss or damage however caused arising out of:

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(b) Any failure to publish an advertisement on the day / date or day / dates specified by the advertiser; or

(c) Any delay in forwarding or omission to forward replies to box numbers to the Advertiser.

4. The Publishers will endeavour to publish advertisements on the day / date or day / dates specified by the Advertiser but insertion days / dates cannot be guaranteed.

5. Where shrinkage of advertisement occurs for whatever reasons the advertisement will be charged to the nearest full centimetre. This will NOT apply to the full-page advertisements, which remain full pages even after shrinkage.

6. The Publishers reserve the right to reject an advertisement or to vary it in any way they deem fit, at any time before publication, whether or not the advertisement has already been accepted for publication.

7. Whilst every effort is made to minimise errors in advertisements, mistakes do sometimes occur. Advertisers or their agents should therefore check their advertisements and inform us of any errors immediately. Responsibility cannot be accepted for more than one incorrect insertion. Typographical or minor changes, which do not affect the value of the advertisement, do not qualify for republication or allowances.

8. All gross advertising rates (except classified line and semi-display) are subject to and include a 0.1% Advertising Standards Board of Finance surcharge, payable by the advertisers to help finance the self-regulatory control system administered by the Advertising Standards Authority.

9. All rates quoted are subject to VAT at the rate currently in force at the time the advertisement appears.

10. Should the rate for advertisements be altered the price for remaining insertions shall be revised accordingly or the publishers shall have the right to cancel the unexpired portion of the order.

11. The placing of an advertisement order will be deemed an acceptance of these conditions.

12. Account facilities are granted at the discretion of the Company.

13. All accounts must be settled within the terms agreed by the Company and the Customer.

(1) Should an advertiser be in breach of the agreed terms, the publisher shall be entitled to levy a 10% surcharge on the value of the whole debt in respect of accounts with terms of less than 30 days, and any discounts or commissions that had been allowed will be reclaimed.

(2) Regular monthly accounts that are in breach of the agreed terms will pay an interest rate of 6% above the current bank of England base rate for each month that the account is overdue and discounts or commissions that had been allowed will be reclaimed. Should Legal action be required the interest will be charged in accordance with the County Court Act 1984.

14. Where an advertiser instructs / appoints an advertising agent to act on their behalf, the advertiser will remain jointly and severally liable for payment in respect for an advertisement(s) should the appointed agent fail to pay. For the avoidance of doubt, the agent acts for the advertiser and not for the publisher with the agent being responsible for notifying the advertiser of this liability.

15. All queries must be notified, preferably in writing to the accounts department of the publisher within 7 days of the invoice date.

16. All digital services are maintained in partnership with the publishers' hosting service providers. Every effort is made to ensure the continuity of these services, but some occasional technical downtime beyond the publishers control may occur. The publisher and its associated companies shall be under no liability if the production and distribution of web services is delayed or prevented by any cause beyond the control of the publisher.

17. The Publisher may provide voucher copies for published advertisements in electronic form only subject to certain criteria. Further information is available on request.

18. The copyright of advertisements produced wholly or partially by the Publishers belong to the Publishers. Advertisers may not reproduce such advertisements without the Publishers' consent.

Box Numbers

Boxes are open for the receipt of bona fide answers and are not available for distribution of trade canvassing matter. Original testimonials, goods, cash, cash stamps or payments of any kind must not be enclosed. A box Number and postal address are charged as part of the advertisement, i.e. Box No., centre address. There is no charge for forwarding replies.

Box numbers alone are not available for use in 'Trade' advertisements, other than Employment and Business Opportunities.

Holiday & Travel Category

All advertising must contain the name of the advertiser, phone number alone are not permitted.

Data Protection

The service you have requested may require us to carry out a credit search at a credit-referencing agency, which will record the fact that a search has been made. We may need to share your information with other lenders and credit reference agencies.

However, we will only use the information from these searches to make credit-granting decisions and, if necessary, for fraud prevention or tracing debtors.

Data controller will use your information for administration and analysis. We may share your information with other Tindle Group Newspaper companies or carefully selected third parties. We, or they, may send you details of other goods and services, which may be of interest to you. The information may be provided by letter, telephone or other reasonable means of communication. Calls may be recorded or monitored for training purposes.

Special conditions apply with regard to the advertising of adult services, which are outlined to all persons submitting such advertisements.

To advertise on these pages
call our friendly sales staff on

020 8367 2345

or email us on

**advertising.nlh
@nlhnews.co.uk**



Public Notices

NOTICE OF APPLICATION TO VARY A PREMISES LICENCE UNDER THE GAMBLING ACT 2005
Notice is hereby given that: William Hill Organization Limited of the following address: Greenside House 50 Station Road Wood Green London N22 7TP, are applying under section 187 of the Gambling Act 2005 to vary a Betting (Other) premises licence issued under that Act. The application relates to the following premises: William Hill, 155 Hertford Road Enfield EN3 5JG. The application is to vary the licence as follows: Refurbishment of premises which will involve the relocation of the counter. The application has been made to London Borough of Enfield. Information about the application is available from the Licensing Authority, including the arrangements for viewing the details of the application. Any of the following persons may make representations in writing to the Licensing Authority about the application. A person who lives sufficiently close to the premises to be likely to be affected by the authorised activities. A person who has business interests that might be affected by the authorised activities. A person who represents someone in any of the above two categories. Any representations must be made by the following date: 21 March 2012. It is an offence under Section 342 of the Gambling Act 2005 if a person, without reasonable excuse, gives to a Licensing Authority for a purpose connected with that Act information which is false or misleading. T341331

Section 27 Trustee Act 1925 Notice Re: Stafford Roy Derby (Deceased) Pursuant to the Trustee Act 1925
Notice is given that all creditors and others having any claims against or claiming to be beneficially interested in the estate of Stafford Roy Derby late of 5 Kimberley Road, London N17 9BB who died on 12th June 2010. Letters of Administration to whose Estate were granted on the 7th June 2011 out of the Principal Registry of the Family Division to Maxine Vanessa Royes are required to send particulars in writing to the undersigned Solicitors on or before the 12th April 2012 after which date the said administrator, Maxine Vanessa Royes will proceed to distribute the assets of the deceased among the persons entitled to them having regard only to claims of which she has had notice and shall not be liable for assets of the deceased or any part of them so distributed to any person or persons of whose claims or demands she then has not had notice. DATED this 8th day of February 2012 Law & Advocacy Solicitors 47a Tottenham Lane London N8 9BD Ref: MAH ROY078-4 Solicitors for the Administrator

GOODS VEHICLE OPERATOR'S LICENCE
VEOLIA E S (UK) Ltd of Veolia House, 210 Pentonville Road, London N1 9JY, is applying to change an existing licence as follows: To keep an extra 10 goods vehicles and 0 trailers at Ashley Road Depot, Ashley Road, Tottenham, London N17 9AY. Owners or occupiers of land (including buildings) near the operating centre, who believe that their use or enjoyment of that land would be affected, should make written representations to the Traffic Commissioner, South East & Met Traffic Area, Hillcrest House, 386 Harehills Lane, Leeds LS9 6NF stating their reasons, within 21 days of this notice. Representors must at the same time send a copy of their representations to the applicant at the address given at the top of this notice. A Guide to Making Representations is available from the Traffic Commissioner's Office.

NOTICE OF APPLICATION TO VARY A PREMISES LICENCE UNDER THE GAMBLING ACT 2005
Notice is hereby given that: William Hill Organization Limited of the following address: Greenside House 50 Station Road Wood Green London N22 7TP, are applying under section 187 of the Gambling Act 2005 to vary a Betting (Other) premises licence issued under that Act. The application relates to the following premises: William Hill, 155 Hertford Road Enfield EN3 5JG. The application is to vary the licence as follows: Refurbishment of premises which will involve the relocation of the counter and entrance door. The application has been made to: London Borough of Enfield. Information about the application is available from the Licensing Authority, including the arrangements for viewing the details of the application. Any of the following persons may make representations in writing to the Licensing Authority about the application. A person who lives sufficiently close to the premises to be likely to be affected by the authorised activities. A person who has business interests that might be affected by the authorised activities. A person who represents someone in any of the above two categories. Any representations must be made by the following date: 21 March 2012. It is an offence under Section 342 of the Gambling Act 2005 if a person, without reasonable excuse, gives to a Licensing Authority for a purpose connected with that Act information which is false or misleading. T341332

To advertise Email
advertising.nlh@nlhnews.co.uk

Miscellaneous No. 1741207

Under The Registration of Titles Law
Office of Titles
P.O. Box 494
Kingston

January 13th 2012

WHEREAS I have been satisfied by Statutory Declaration that the duplicate Certificate of Title for ALL THAT parcel of land part of ALBION ESTATE in the Parish of SAINT THOMAS being the Lot numbered EIGHTY-SIX on the Plan of Albion Estate aforesaid deposited in the Office of Titles on the 29th day of October, 1970 of the shape and dimensions and butting as appears by the Plan and being the land registered at Volume 1257 Folio 500 of the Register Book of Titles in the name of WALDES CAMPBELL - HAS BEEN LOST:-

I Hereby Give Notice that I intend at or after the expiration of fourteen days after the last appearance of this advertisement to cancel the said Certificate of Title and to register a new Certificate in duplicate in place thereof.

J. Walker
For Registrar of Titles

Insert once each week in the Daily Gleaner Newspaper for two successive weeks AND insert once in a newspaper in the vicinity of 97 Exter Road, Edmonton N9 0LL England.

Myers, Fletcher & Gordon
21 East Street, Kingston, Jamaica

To advertise Email us on:
advertising.nlh@nlhnews.co.uk

SOUTH STREET, EN3 - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 3478.

1. NOTICE IS HEREBY GIVEN that in order to facilitate works to remove a dangerous structural wall and trees in South Street, EN3, the Council of the London Borough of Enfield have made the Enfield (South Street, EN3) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984. [Note: this Order continues the effect of a Notice dated 20th February 2012 given under section 14(2) of the said Act].
2. The effect of the Order will be to prohibit vehicles from entering or proceeding in South Street, EN3, between Hobby Road and Falcon Road, EN3 in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions will continue by way of this Order from 24th February 2012 until such time as the works have been completed, which is expected to be in 4th March 2012.
4. Whilst the prohibitions remain in force the alternative route would be via Alma Road, Green Street, Hertford Road and High Street, EN3 and *vice versa*.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



THE CREST, N13 - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 2127.

1. NOTICE IS HEREBY GIVEN that in order to facilitate essential Water Works in The Crest, N13, the Council of the London Borough of Enfield propose to make the Enfield (The Crest, N13) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984.
2. The effect of the Order would be to prohibit vehicles from entering or proceeding in The Crest, N13, at its junction with Riverway, N13 in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions referred to in paragraph 2 above would not apply to works vehicles, or if the works allow, to police or emergency services vehicles.
4. The prohibitions would come into operation on the 15th February 2012 and would continue in force until the 20th April 2012 or until such time as the works have been completed.
5. Whilst the prohibitions remain in force traffic would be diverted around the work site as and when directed by signage.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



BAKER STREET - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 3478.

1. NOTICE IS HEREBY GIVEN that in order to facilitate essential footway reconstruction works in Baker Street, EN1, the Council of the London Borough of Enfield have made the Enfield (Baker Street, EN1) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984. [Note: this Order continues the effect of a Notice dated 14th February 2012 given under section 14(2) of the said Act].
2. The effect of the Order will be to prohibit vehicles from entering or proceeding in Baker Street Service Road, EN1, between Nos. 43-65 in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions will continue by way of this Order from 19th February 2012 until such time as the works have been completed, which is expected to be on 19th March 2012.
4. Whilst the prohibitions remain in force there is no alternative route.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk



CAVERSHAM AVENUE, N13, COMPTON ROAD, N21 AND DENTON ROAD, N18 - TEMPORARY RESTRICTION OF TRAFFIC

Further information may be obtained by telephoning Highways Services on 020 8379 2008.

1. NOTICE IS HEREBY GIVEN that in order to facilitate Thames Water lead pipe replacement works in Caversham Avenue, N13, Compton Road, N21 And Denton Road, N18 the Council of the London Borough of Enfield proposes to make the Enfield (Caversham Avenue, N13, Compton Road, N21 And Denton Road, N18) (Temporary Restriction of Traffic) Order 2011 under section 14(1) of the Road Traffic Regulation Act 1984.
2. The effect of the Order would be to temporarily prohibit vehicles, as and when directed by traffic signs, to enter or proceed in or wait, load or unload, in the streets specified in column 1 of the Schedule to this Notice.
3. The prohibitions referred to in paragraph 2 above would not apply to works vehicles, or if the works allow, to police or emergency services vehicles.
4. The prohibitions would operate during the times and on the dates specified in column 2 of the Schedule in each case and would continue until the works are completed.
5. Whilst the prohibitions are in force, the alternative routes for diverted vehicles would be as stated in column 3 in each case.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation
SCHEDULE

Part of Street to be Restricted 1	Coming into operation 2	Diversion Route 3
Caversham Avenue, N13 (whole Road)	6th March 2012 for 8 Weeks	(a) via Fox Lane, Green Lanes and Bourne Hill, N13; or (b) via Bourne Hill, Burford Gardens and Fox Lane, N13
Compton Road, N21 (whole Road)	5th March 2012 for 9 Weeks	(a) via Green Lanes, Station Road and Hoppers Road, N21; or (b) via Hoppers Road, Fernleigh Road, and Green Lanes, N21
Denton Road (whole Road)	5th March 2012 for 3 Weeks	(a) via Sweet Briar Walk, Park Lane and Bulwer Road, N18; or (b) via Bulwer Road, Silver Street and Sweet Briar Walk, N18

www.enfield.gov.uk



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Public Notices

**CRAWLEY ROAD, N9 -
TEMPORARY RESTRICTION OF TRAFFIC**

Further information may be obtained by telephoning Highways Services on 020 8379 3478.

1. NOTICE IS HEREBY GIVEN that in order to facilitate essential footway reconstruction works in Crawley Road, N9, the Council of the London Borough of Enfield propose to make the Enfield (Crawley Road, N9) (Temporary Restriction of Traffic) Order 2012 under section 14(1) of the Road Traffic Regulation Act 1984.
2. The effect of the Order would be to prohibit vehicles from entering or proceeding in Crawley Road, N9, at its junction with Dehli Road, N9 to the boundary with No. 1a Crawley Road, N9, in the London Borough of Enfield, as and when directed by traffic signs.
3. The prohibitions would come into operation on the 15th February 2012 and would continue in force until the 20th April 2012 or until such time as the works have been completed.
4. Whilst the prohibitions remain in force the alternative route would be via Dehli Road, Porlock Road and Amberley Gardens and *vice versa*.

Dated 22nd February 2012

DAVID B. TAYLOR
Head of Traffic and Transportation

www.enfield.gov.uk

**HGV CLASS 2
MULTI DROP
HIAB DRIVER**

to deliver building materials, based in Cheshunt looking for a hard working, flexible and reliable person to join our team.

Some heavy lifting.
£25 - £35,000
Also some part-time,
send CV to:
jihaulage@yahoo.co.uk

**Atlantic Cleaning
Services
Area Supervisor
Required**

Driving licence essential
Flexible hours of
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advertising.nlh@
nlhnews.co.uk

Scimitar Care Hotels PLC
Residential Care Hotel for Senior Citizens**COOK REQUIRED**

Minchenden Lodge Care Home in Southgate requires:

Part Time Cook

Monday to Wednesday, 8.00am-6.30pm

Contact Maria Simkins on **020 8886 1222**

or email MinchendenLodge@ScimitarCare.co.uk

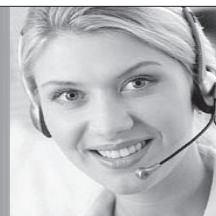
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**NOTICE OF APPLICATION TO
VARY A PREMISES LICENCE
UNDER THE GAMBLING ACT 2005**
Notice is hereby given that: William Hill Organization Limited of the following address: Greenside House 50 Station Road Wood Green London N22 7TP, are applying under section 187 of the Gambling Act 2005 to vary a Betting (Other) premises licence issued under that Act. The application relates to the following premises: William Hill, 3 The Town Enfield EN2 6LE. The application is to vary the licence as follows: Refurbishment of premises which will involve the relocation of the TV Gantry. The application has been made to: London Borough of Enfield. Information about the application is available from the Licensing Authority, including the arrangements for viewing the details of the application. Any of the following persons may make representations in writing to the Licensing Authority about the application. A person who lives sufficiently close to the premises to be likely to be affected by the authorised activities. A person who has business interests that might be affected by the authorised activities. A person who represents someone in any of the above two categories. Any representations must be made by the following date: 21 March 2012. It is an offence under Section 342 of the Gambling Act 2005 if a person, without reasonable excuse, gives to a Licensing Authority for a purpose connected with that Act information which is false or misleading. T341425

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2345**

**CHRISTOPHER MARKS
require a
LETTINGS
NEGOTIATOR**

Enthusiastic Individual required full time for our Lettings Office in Enfield Highway. Must be able to work well under pressure and have excellent communication skills. Must be computer literate and have driving licence and own car.

Telephone:

020 8805 8636

2 Central Parade, Green Street, Enfield EN3 7HG

Owner Van Drivers

We are looking for owner drivers with small white vans only and courier insurance for an immediate start for local collections, delivering anywhere in the UK for Special Services customers. This is not multidrop work.

Call us on
01582 560444
www.tnt.co.uk

**Putting Enfield First****Schools and Children's Services****Community Access, Childcare and Early Years**

Edmonton Children's Centre is based in the heart of the Edmonton community and acts as a service hub for families and children from pre birth to five years. Due to a recent restructure we are looking to develop our dedicated team to provide local families with access to all manner of advice, guidance and early education, with a primary focus on strengthening and supporting families.

There are a variety of roles available and we are looking to develop a team that is enthusiastic, flexible and committed to helping us achieve excellence.

Vacancies include roles both within the community side e.g. outreach and on the daycare side including a range of Early Years Practitioner roles.

An Open Day is planned for Thursday 8th March 2012.

All posts are full time (36 hours a week) 52 weeks a year

The community posts require you to be flexible around hours to meet the needs of the community and may include some evening and weekend hours.

The day care posts are rotated on a shift basis, Monday to Friday between 7:45 and 18:00.

The centre closes for four weeks a year and some holiday allocation will be taken during the closure.

All posts may require some evening training and meetings

These posts will be subject to enhanced CRB checks

For more information on all available posts please see our website at www.jobs.enfield.gov.uk job reference 2353.

Closing date: 9th March 2012

You are welcome to attend an open day on the 8th of March but please call for more details and to confirm a place. Tel: 020 8350 5573.

Enfield Council offers free Internet access at local libraries to assist you in applying for council vacancies. If you have any difficulties accessing this information please contact Selina Ofoegbu on 020 8379 3363. A textphone (minicom) is provided for those with a hearing or speech impairment on 020 8379 4419.

This authority is committed to safeguarding and promoting the welfare of children, young people and vulnerable adults and expects all staff and volunteers to share in this commitment.

An equal opportunity employer.

**LONDON & ESSEX NEWSPAPERS LTD****An outstanding
opportunity...**

London & Essex Newspapers, part of
Tindle Newspaper Group has a vacancy for a
Field Sales Executive

Based in Enfield your role will include maintaining existing business and customer relations and maximising new revenues and opportunities. Excellent communication and negotiation skills are a must.

In return we offer an excellent package and prospects, including basic salary plus commission, key performance indicators, company car, ongoing training and development and performance management.

If this sounds like just the opportunity
for you please forward your CV to:

**Claire Yates, Advertising Manager,
Press & Advertiser Newspapers, 4th Floor,
Refuge House, 9-10 River Front, Enfield,
Middx EN1 3SZ
claire.yates@nlhnews.co.uk**




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 **CuroCare**

CuroCare is a leader in providing quality healthcare for adults with learning disabilities and/or mental illnesses. We are looking for experienced and dedicated staff in the following areas:

Waltham Abbey | Tottenham | Crouch End | Ponders End

Senior Staff Nurses
£28,000 - £31,000 p.a.

Applicants must be RNLD, RNMH or RMN with proven relevant experience.

Health Care Workers
£13,500 - £16,250 p.a.

All candidates should have a NVQ 2, and a minimum of 2 years relevant experience in care. We would especially welcome male candidates for our all male hospital in Crouch End.

Are you passionate about care?
 For more information or to request an application pack:
VISIT: www.curocare.co.uk
CALL: 01992 785460

If you would like to advertise on these pages simply call **020 8367 2345** and ask for one of our friendly reps, or email us now on **advertising.nlh@nlhnews.co.uk**

HOST FAMILIES WANTED
 Welcome international students into your home
 Bookings available June-August

We offer:

- 24/7 local support
- Great earning potential
- Students have a 7 day a week activity programme

Anyone can be a host for international students - old or young, families or single people!

 Contact the Team on **020 7341 8711** or **London.LThostfamily@ef.com**
"proud sponsors of Haringey Rhinos Youth Rugby"

  **CUCKOO HALL ACADEMIES TRUST**

Cuckoo Hall is a very successful school that offers excellent provision for all children. Our strong emphasis on children's learning, along with our belief that children learn best in a safe and structured environment that promotes their personal well-being, ensures that children achieve very well in all aspects of their development. The success of our school is recognised by Ofsted. We are included in Ofsted's list of outstanding schools.

Cuckoo Hall's sister school, Woodpecker Hall Primary Academy, opened its doors in September 2011 on the same site as Cuckoo Hall Academy and with the same values and ethos with a third school, Kingfisher Hall, opening in September 2012. As a result of our success and growth of the Academies we are currently looking for committed and caring persons to fill the following vacancies:

Clerk to Governors/Minute Taker

Hours: 500 per annum guaranteed

Salary: Scale 5, £11.41 per hour

To provide an efficient and accurate minute taking service to the Trustees, Governors and Academy in a timely manner.

Premises Officers x 2

Hours: 1 x 25 hours and 1 x 30 hours per week

Salary: 1 x £11,445 & 1 x £13,735

To provide an efficient and timely premises service to the Academy.

Closing date for all roles: 12 noon, Wednesday 14th March 2012.

Interview date: tba.


For further information and an application pack please visit our website www.chat-edu.org.uk/recruitment

Please send your completed application form to HR Manager, Cuckoo Hall Academy, Cuckoo Hall Lane, Edmonton N9 8DR.

Cuckoo Hall Academies Trust is committed to safeguarding and promoting the welfare of students and expects all staff and volunteers to share this commitment. Applicants for this post must be willing to undergo child protection training. A full enhanced check with the Criminal Records Bureau will be undertaken and references will be sought from previous employers prior to interview.

If you would like to advertise simply Email us now on:
advertising.nlh@nlhnews.co.uk



 **BANK STAFF WORKERS**

Barndoc Healthcare Limited is a key provider of high quality primary care services across several North London Boroughs.

Service growth means opportunities have arisen to join our team of Call Handlers / Administrators based at our modern Cockfosters offices.

This vital role includes being the first point of contact with the public, and liaising with staff at GP Surgeries.

Successful candidates must be able to project a professional image at all times, and demonstrate an excellent telephone manner. Previous experience of working in a Call Centre is essential, and applicants will be required to demonstrate their keyboard skills if selected for interview. The ability to communicate well, both in writing and verbally, is also a key requirement.

The role will also include processing patient referrals for our Referral Management Service. Candidates must therefore possess excellent administrative skills and be able to multitask effectively. Candidates must be able to work well as part of a team and have the ability to remain calm and focussed under pressure.

Candidates will be expected to be able to commit to working during the day as well as during the out of hours period. We run our services all year round and our busiest periods are Bank Holidays and weekends.

The closing date for applications is 5pm on Friday 9 March 2012.
Please download an application pack from www.barndoc.co.uk or e-mail requests for an information pack and an application form to recruitment@barndoc.nhs.uk

WWW.BARNDOC.CO.UK

Putting Enfield First

Edmonton County School
Little Bury Street
Edmonton, London N9 9JZ
Tel: 020 8360 3158
Fax: 020 8360 8253
Email: info@edmonton.enfield.sch.uk
Web: www.edmontoncounty.co.uk
Learning and Achievement for All
Headteacher: Dr Susan Tranter

IAG Co-ordinator
Required for 16 April 2012



A self motivated, self starter to develop our Information, Advice and Guidance service for students and to raise aspirations across the year groups is required to work in our heavily oversubscribed school, which has a reputation for providing outstanding support for staff and students.

Purpose of this role is to co-ordinate the development of work related learning across the curriculum. To promote aspiration and career pathways throughout the school using a variety of mediums. Assist in the extended school and enrichment activities program and to co-ordinate the school apprenticeship program.

Edmonton County School is a mixed, multicultural, dual campus school with a genuinely comprehensive intake. We are a good school with outstanding aspects and we aim to be an outstanding school.

The school is in an exciting stage of its development and we welcome applications from suitably qualified professionals to become part of a consistently improving school.

Hours: 36 hours per week x 42 weeks per annum.

Actual Salary Range: £24,533 - £26,050 pa. inc. (£01).

IAG Advisor

Required for 16th April 2012

A qualified advisor for our Information, Advice and Guidance service is required to work in our heavily oversubscribed school, which has a reputation for providing outstanding support for staff and students.

The purpose of this role is to give career advice across the curriculum including liaison with relevant outside bodies and to support choice and aspiration for all students within the school.

Edmonton County School is a mixed, multicultural, dual campus school with a genuinely comprehensive intake. We are a good school with outstanding aspects and we aim to be an outstanding school.

The school is in an exciting stage of its development and we welcome applications from suitably qualified professionals to become part of a consistently improving school.

Hours: 36 hours per week x 40 weeks per annum.

Actual Salary Range: £21,124 - £22,432 pa. inc. (Scale 6). (Salary dependent on qualifications).

For more information or to download application packs please visit the school website www.edmontoncounty.co.uk

School contact: Rachel Taylor at rtaylor@edmonton.enfield.sch.uk

Closing date for both roles: 12noon, Friday 9th March 2012.

Interviews will be held soon after this date.



St Paul's CE Primary School

Ringwood Way
Winchmore Hill N21 2RA

Tel: 020 8360 3137

Roll: 420

Resident Site Manager

We have a single storey modern well-maintained building set in spacious well-cared for grounds. We are looking for a site manager who possesses basic skills in all areas of buildings and grounds maintenance including painting, decorating, plumbing, carpentry, cleaning, portage and gardening and who will undertake security of the site. Some evening and weekend work will be required. A 3-bedroomed house set within the school grounds is provided. St Paul's School is dedicated to the safe-guarding of children.

Hours: An average of 51 - 53 hours per week.

Salary: £24,711 pa.

Vacant From: ASAP

Closing date: 7th March 2012.

For an application form, job description and person specification, please either call at the school during normal school hours or send a stamped self-addressed envelope to the Clerk to the Governors at St Paul's School.

Highlands School
148 Worlds End Lane
London N21 1QQ
11-18 Mixed Comprehensive
Tel: 020 8370 1100
Fax: 020 8370 1110
Email: postbox@highlands.enfield.sch.uk
Headteacher: Mr Bruce Goddard



ICT Teaching Assistant

We are seeking to appoint a part time Teaching Assistant for ICT Faculty with proven skills and abilities in ICT (3 days a week). An ability to work independently and show initiative is important, as is a capacity to work under pressure at times and prioritise work under the guidance of the Head of Faculty.

Hours: 21 hours per week x 39 weeks per annum.

Actual Salary Range: £8,720 - £9,268 pa. inc. (Scale 3).

Closing date Friday 2nd March 2012.

Further details and application forms on our website: www.highlands.enfield.sch.uk

We are committed to the safety of our staff and students. All staff undergo full safeguarding checks, including enhanced CRB.

All schools and services in Enfield are committed to safeguarding and promoting the welfare of children and young people. Therefore, all workers and employees within Enfield are expected to share this commitment.

An equal opportunity employer.



SPORT

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SPURS TESTED BY STEVENAGE

Redknapp frustrated as FA Cup clash ends in a stalemate

By James Lowe

IF THERE was ever a team who were going to ensure that Tottenham Hotspur's passage to the quarter-finals of the FA Cup would be rather less of a foregone conclusion than their manager's appointment to the England job, then Stevenage would always be strong contenders.

Having knocked out Newcastle United at their Lamex Stadium home in Hertfordshire last season, the League One outfit scrapped hard to make it two Premier League scalps in a row with a brave performance in a game which was far more gritty than pretty.

Spurs manager Harry Redknapp, forced to make six changes from the side which put five past Newcastle the previous weekend, admitted that when combined with a far-from-forgiving pitch the resulting style of hoof and hope football taxed his patience as he rose agitated from the dugout in frustration.

He said: "You saw the pitch and the ball bobbling around. You thought, 'it's going to be a hard game here'.

"It wasn't a game to get the ball down and play football. We started to hit it long because it was hard to pass it on that pitch."

Resorting to lifting the ball over the boggy, divot-ridden surface, and in unfamiliar 3-5-2 formation, it was left to frontmen Jermain Defoe and Louis Saha to squint into the low weak winter sun to trap and turn as balls from Jake Livermore and Danny Rose were pumped high and long through the middle.

Stevenage for their part made better use of the limited width of the pitch, with Luke Freeman making frequent and effective forays down the left and Lawrie Wilson endeavouring to test the line of three Spurs centre-backs on the opposing flank.

With Gareth Bale playing in a central role in a wing-back formation with Kyle Walker, the most effective at delivering pace down the right, their unfamiliar shape failed to produce more than a handful of chances.

Although Spurs did find the net ten minutes into the second half through a Saha strike, an unfortunate deflection from an offside-positioned Scott Parker saw the goal ruled out, and the game ended goalless.

While Stevenage may have earned their pay-day replay with their former



A tough afternoon: Harry Redknapp admitted that Spurs found life difficult at Stevenage on Sunday

pre-season friendly opponents, Redknapp will be looking to sniff out and crush any hint of complacency

by the players on the bump-free home turf to ensure a smooth progression to the last eight – and a home tie

against Bolton Wanderers – when the teams meet again under the White Hart Lane floodlights on March 7.

Skolars make poor start to new season

THE London Skolars' endured a difficult start to the new rugby league season as they slumped to a 50-16 defeat at Batley Bulldogs in Pool A of the Northern Rail Cup on Sunday.

The Skolars, who saw their scheduled opening match at home to Toulouse fall victim to a frozen pitch the previous week, were always likely to be facing a difficult task against a side who play a division above them – and this proved to be the case in a horribly one-sided first half which ended with them trailing 40-0.

However, the visitors did improve significantly during a second period which saw them outscore the Bulldogs as they were rewarded for their efforts through tries from Ade Adebisi, Ben Bolger and Martyn Smith and two goals from Andy McLean.

Bolger was one of four players, along with Lamont Bryan, Rob Thomas and Joe Ridley, who bolstered the Skolars' squad last week by joining the club on a dual-registration basis from Super League outfit London Broncos.

Bryan, Bolger and Thomas – who have made 55 appearances for the Broncos between them – all spent time on loan with the Skolars last season, but it is Ridley's first spell with the club.

Coach Joe Mbu said: "Lamont, Ben and Rob all performed well for us last season when they weren't playing for the Broncos, and I'm looking forward to working with them again.

"Joe is another great talent, and as he comes from Essex I'm sure he'll relish the chance to play in north-east London.

"Having that Super League experience in the side will be valuable to us."

The London Skolars continue their Northern Rail Cup campaign with a trip to the South Wales Scorpions on Sunday.

Brilliant Borough hit Holmer for six

HARINGEY BOROUGH returned to action with a bang on Saturday as they romped to a 6-1 victory at home to Holmer Green in the Spartan Premier Division.

The cold snap meant that Borough had gone three weeks without a match, but they showed no signs of rustiness as they raced into a two-goal lead inside the first seven minutes – Darrell Cox pouncing on a loose ball to open the scoring and Charles Douse doubling the advantage after the Holmer defence failed to deal with a corner.

The game was as good as over when the hosts added a third on 22 minutes as Cox finished a sweeping move by netting with a fierce strike from a tight angle.

Borough's dominance continued and Christopher Benjamin drove in the fourth before Cox rounded off a desperately one-sided first half by completing his hat-trick from the spot following a foul on Dean Fenton.

The second half proved to be something of an anti-climax as the hosts took their foot off the gas – although they did add a sixth when Benjamin worked space for himself to drive home a low shot from a central position.

Relegation-threatened Holmer did finally begin to create some chances of their own as the second half progressed, but they had to wait until deep in stoppage time to score a consolation goal as Danny Boateng glanced a header into the net from a corner.

Haringey Borough, who hosted Leverstock Green in the semi-finals of the Challenge Trophy last night, visit Hatfield Town on Saturday (3pm).

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Smarter Travel Haringey is a new initiative launched by Haringey Council with support from Transport for London aiming to reduce road casualties and encourage more people to use sustainable transport. Cycling, walking and public transport can help save money, improve health and wellbeing and reduce carbon emissions.

To help people make the switch a range of initiatives have been set up and further information can be found at **www.haringey.gov.uk/smartertravel**

This includes information on how to join a local car club which could save you up to £3,500 each year, where to find cycle training courses and what events and activities are coming up.

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